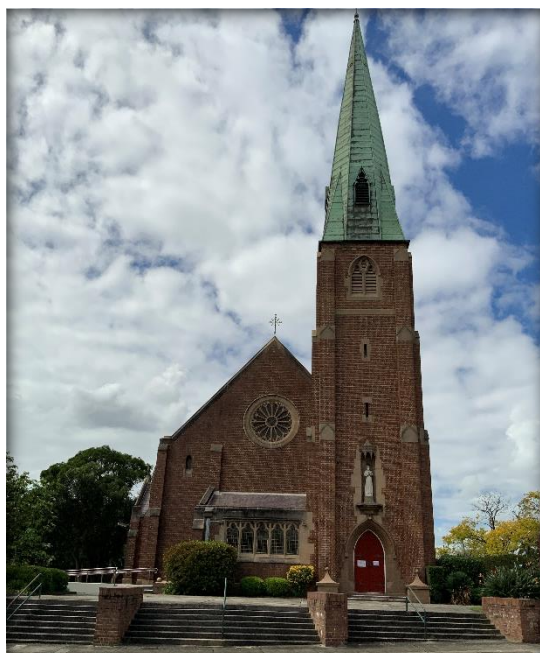


STATEMENT OF HERITAGE IMPACT

**Proposed Development at
43 Donnelly Street
Naremburn**



Job No. 9120
September 2021

Heritage21
CULTURAL BUILT HERITAGE IN THE 21ST CENTURY

RAPPOPORT PTY LTD ©
CONSERVATION ARCHITECTS AND HERITAGE CONSULTANTS
Suite 48, 20-28 Maddox Street, Alexandria, NSW 2015
(02) 9519 2521
reception@Heritage 21.com.au

Heritage Impact Statements

Conservation Management Plans

On-site Conservation Architects

Photographic Archival Recordings

Interpretation Strategies

Expert Heritage Advice

Fabric Analyses

Heritage Approvals & Reports

Schedules of Conservation Work

TABLE OF CONTENTS

1.0 INTRODUCTION	4
1.1 BACKGROUND	4
1.2 SITE IDENTIFICATION	4
1.3 HERITAGE CONTEXT	5
1.4 PURPOSE	7
1.5 METHODOLOGY	8
1.6 AUTHORS	9
1.7 LIMITATIONS	9
1.8 COPYRIGHT	9
2.0 HISTORICAL CONTEXT	10
2.1 HISTORY OF NAREMBURN	10
2.2 SITE SPECIFIC DEVELOPMENT	14
3.0 PHYSICAL EVIDENCE	22
3.1 THE SETTING	22
3.2 VIEWS	22
3.3 PHYSICAL DESCRIPTION	22
3.4 CONDITION AND INTEGRITY	33
4.0 HERITAGE SIGNIFICANCE	34
4.1 ESTABLISHED SIGNIFICANCE	34
4.2 HERITAGE ITEMS IN THE VICINITY	34
4.3 THE SUBJECT SITE	37
5.0 WORKS PROPOSED	40
5.1 PROPOSAL DESCRIPTION	40
5.2 DRAWINGS	40
6.0 ASSESSMENT OF HERITAGE IMPACT	67
6.1 HERITAGE MANAGEMENT FRAMEWORK	67
6.2 HERITAGE IMPACT ASSESSMENT	70
7.0 CONCLUSION & RECOMMENDATIONS	91
7.1 IMPACT SUMMARY	91
7.2 RECOMMENDATIONS	92
7.3 GENERAL CONCLUSION	93
8.0 SOURCES	95

Acknowledgement of Country

Heritage 21 wishes to acknowledge the Traditional Owners of country throughout Australia and recognise their continuing connection to land, waters and community. We pay our respects to them and their cultures; and to elders both past and present.

Cover page: Subject site at 43 Donnelly Road, Naremburn, looking to St. Leonard's Church from Willoughby Road, facing east. (Source: Heritage 21, 1 April 2021)

The following Table forms part of the quality management control undertaken by Heritage 21 regarding the monitoring of its intellectual property as issued.

Issue	Description	Date	Written by	Reviewed by	Issued by
1	Draft report (D1) issued for comment.	16.09.21	AP	SDA	AP
2	Draft report (D2) issued for comment.	25.09.21	AP	-	AP
3	Draft report (D3) issued for comment.	06.10.2021	AP	-	AP
4	Report (RI) issued.	12.10.2021	AP	-	AP

1.0 INTRODUCTION

1.1 Background

This Statement of Heritage Impact ('SOHI' or 'report') has been prepared on behalf of Metro Property Development who have been engaged by the owner of the site to submit a development application for a new development at the site, including the demolition of the school buildings on the site, alterations and additions to the existing presbytery building and the construction of 12 townhouses, new parish hall and presbytery and a two storey private dwelling to the east of the existing presbytery.

1.2 Site Identification

The subject site is located at 43 Donnelly Road, Naremburn, which falls within the boundaries of the Willoughby City Council Local Government Area, and it comprises Lot 1/DP115889, Lot A/DP 341975 and Lot 1/DP320984 ('the site'). The site is bound by Donnelly Road to its south, Willoughby Road to its west and Merrenburn Avenue to its north. The subject site is under the ownership of the Catholic Church and contains a church building complex, namely St Leonard's Catholic Church building ('the Church'), the St Leonard's school building including extension ('the School Building') and the presbytery building ('the Presbytery'). The setting and topography of the site will be more fully described in Section 3.0 below.



Figure 1. Aerial view of the site, highlighted in yellow. (Source: NSW Land and Property Information, 'SIX Maps', n.d., <http://maps.six.nsw.gov.au/>.)

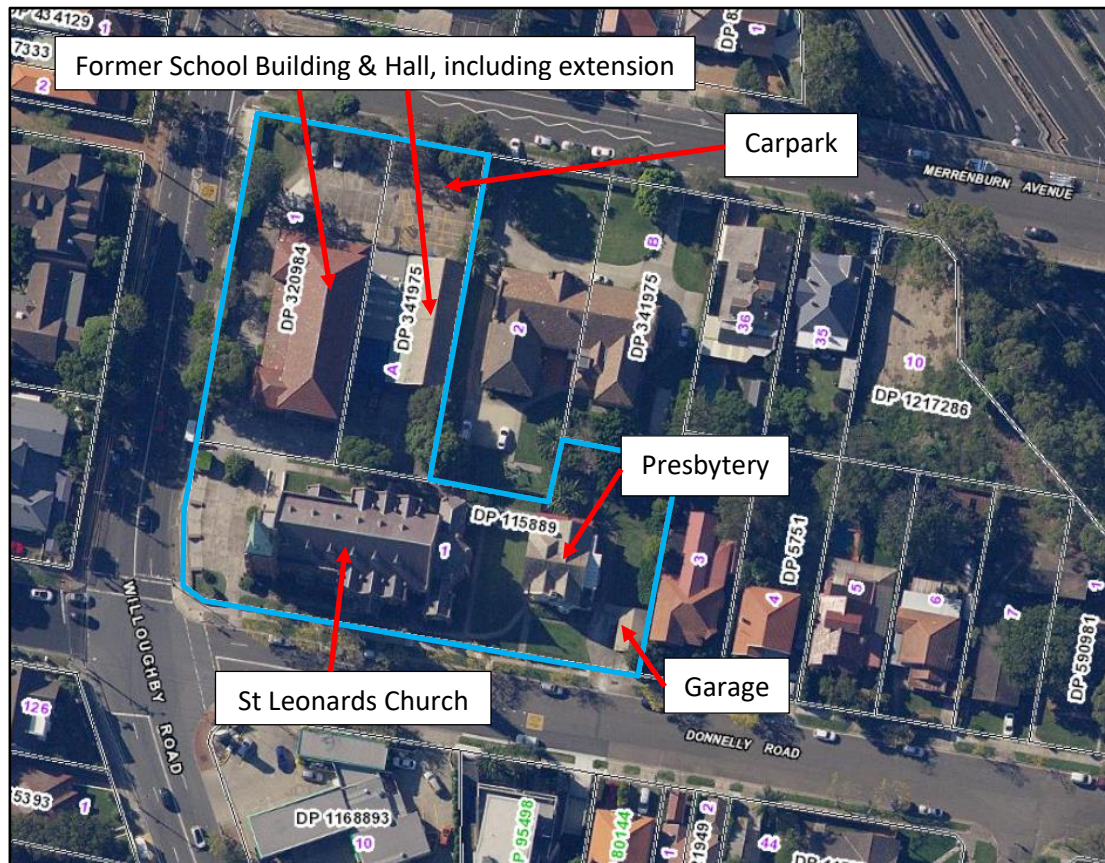


Figure 2. Close-up aerial view of the subject site with the boundaries outlined in blue and buildings located within the site clearly identified. (Source: Six Maps, annotated by Heritage 21)

1.3 Heritage Context

1.3.1 Heritage Listings

As depicted in Figure 3 below, part of the site, containing St Leonard's Catholic Church, **is** listed as an item of environmental heritage under Schedule 5 of the Willoughby Local Environmental Plan 2012 ('WLEP'). St Leonard's Catholic Church **is** also listed on the National Trust Register (NSW) and the Former Register of the National Estate. However, it **is not** listed on the NSW State Heritage Register, the National Heritage List or the Commonwealth Heritage List.

The heritage listings relating to the site are summarised below:

Statutory List – Legislative Requirements				
List	Item Name	Address	Significance	Item No.
Willoughby Local Environmental Plan 2012	St Leonard's Church (including original interiors)	43 Donnelly Road	Local	I160
Non-Statutory List – Information Only				
List	Item Name/ Description	Item No.		
National Trust Register - National Trust NSW	St. Leonard's Catholic Church	s11067		
Former Register of the National Estate ¹	St Leonard's Catholic Church	102896		

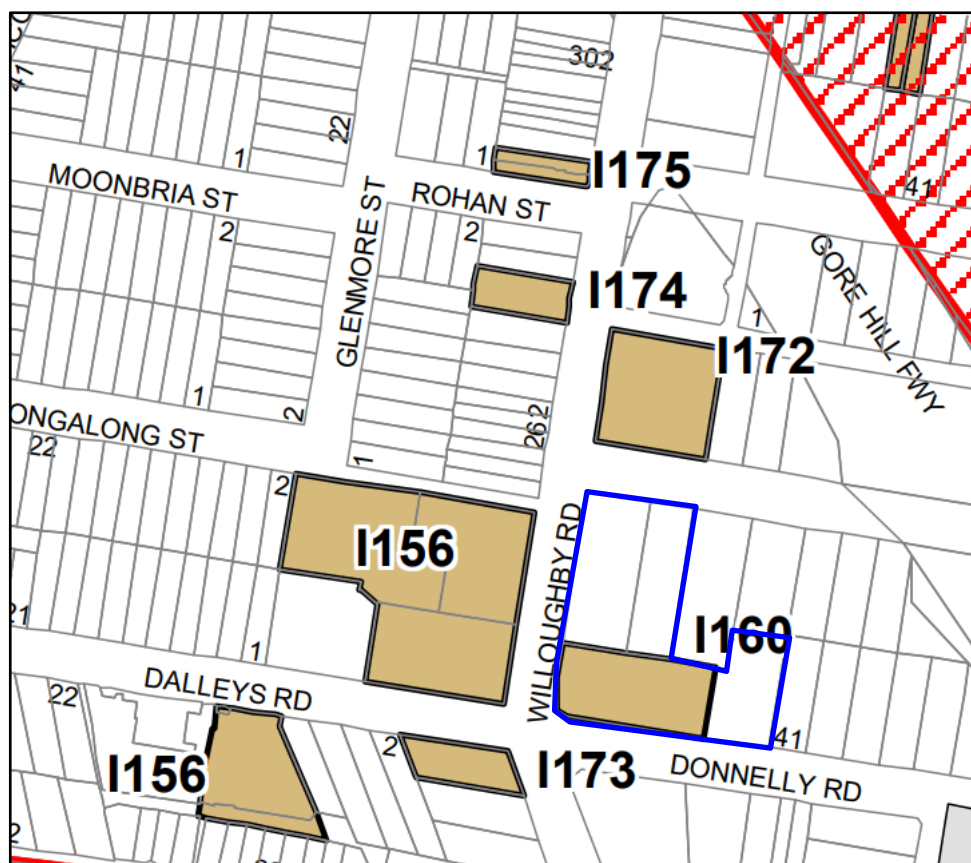


Figure 3. Detail from Heritage Map HER_005; the subject site is outlined in blue and heritage items, some of which are within the vicinity of the site, are marked brown. (Source: NSW Legislation Online, <https://www.legislation.nsw.gov.au/view/pdf/map/50e1767a-9cc1-6c2a-9631-eec4c8c2c351>, annotated by Heritage 21)

The subject site **is not** located within the boundaries of any Heritage Conservation Area listed under the WLEP 2012.

¹ The Register of the National Estate ceased as a statutory heritage list in 2007; however, it continues to exist as an inventory of Australian heritage places.

1.3.2 Heritage Items in the Vicinity

As depicted in Figure 3 above, the subject site is situated within the general vicinity of the following heritage items listed under Schedule 5 of the WLEP 2012. The details of the listings follow:

Item	Address	Significance	Item Number
Shops	284 and 284A Willoughby Road	Local	I175
Group of Shops	272–276 Willoughby Road	Local	I174
St Cuthbert's Anglican Church (including original interiors)	205 Willoughby Road	Local	I172
Converted Naremburn Public School and Resources Centre	10 Dalleys Road; 250 and part of 252 Willoughby Road	Local	I156
House (including original interiors)	248 Willoughby Road	Local	I173

Among the above heritage items in the vicinity listed above, the subject site is adjacent to or within the visual catchment of Item I174 (272–276 Willoughby Road), Item I172 (205 Willoughby Road), I156 (10 Dalleys Road; 250 and part of 252 Willoughby Road) and I173 (48 Willoughby Road).

The proposed development of the site is not located within the visual catchment of heritage item I175, listed above and neither is it considered to be sufficiently proximate to that place to warrant discussion in the Heritage Impact Assessment contained in Section 6.0 of this SOHI. Accordingly, the discussion in Section 6.0 of this SOHI of the potential heritage impact of the proposal on heritage items in the vicinity is limited to items I174, I172, I173 and I156.

1.4 Purpose

St Leonard's Catholic Church ('the Church') on the subject site is a heritage item and is located in the vicinity of heritage items noted in Section 1.3.2 above, all of which are listed under Schedule 5 of the WLEP 2012. Sections 5.10(4) and 5.10(5) of the WLEP 2012 require Willoughby Council to assess the potential heritage impact of non-exempt development, such as the proposed works (refer to Section 5.0), on the heritage significance of the abovementioned heritage items and, also, to assess the extent (whether negative, neutral or positive) to which the proposal would impact the heritage significance of those heritage items. This assessment is carried out in Section 6.0 below.

The applicant also seeks to rely on certain conservation incentives provided for under clause 5.10(10) of the WLEP 2012. This Statement of Heritage Impact also addresses the requirements of that clause.

Accordingly, this SOHI provides the necessary information for Council to make an assessment of the proposal on heritage grounds.

1.5 Methodology

The methodology used in this SOHI is consistent with *Statements of Heritage Impact* (1996) and *Assessing Heritage Significance* (2001) published by the Heritage Division of the NSW Office of Environment and Heritage and has been prepared in accordance with the principles contained in the most recent edition of *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* 2013 ('Burra Charter').

1.6 Authors

This Statement of Heritage Impact ('SOHI' or 'report') has been prepared by Ankita Powale, reviewed by Siena Di Giovanni-Arundell and overseen by Paul Rappoport, of Heritage 21, Heritage Consultants.

1.7 Limitations

- This SOHI is based upon an assessment of the heritage issues only and does not purport to have reviewed or in any way endorsed decisions or proposals of a planning or compliance nature. It is assumed that compliance with non-heritage aspects of Council's planning instruments, the BCA and any issues related to services, contamination, structural integrity, legal matters or any other non-heritage matter is assessed by others.
- This SOHI essentially relies on secondary sources. Primary research has not necessarily been included in this report, other than the general assessment of the physical evidence on site.
- It is beyond the scope of this report to address Indigenous associations with the subject site.
- It is beyond the scope of this report to locate or assess potential or known archaeological sub-surface deposits on the subject site or elsewhere.
- It is beyond the scope of this report to assess items of movable heritage.
- Heritage 21 has only assessed aspects of the subject site that were visually apparent and not blocked or closed or to which access was not given or was barred, obstructed or unsafe on the day of the arranged inspection.

1.8 Copyright

Heritage 21 holds copyright for this report. Any reference to or copying of the report or information contained in it must be referenced and acknowledged, stating the full name and date of the report as well as Heritage 21's authorship.

2.0 HISTORICAL CONTEXT

2.1 History of Naremburn

The following history of Naremburn has been extracted from the Dictionary of Sydney website:²

Naremburn is a residential suburb located in the southern section of the Willoughby local government area. Approximately five kilometres from Sydney's central business district and three kilometres from Chatswood, Naremburn offers proximity to restaurants, shopping centres, recreational facilities, theatres, cinemas and other forms of entertainment. Within Naremburn there is a strip of shops on Willoughby Road and a community centre on Central Avenue that contains a small library and offers childcare and a range of recreational programs for all ages. The residential atmosphere of Naremburn is offset by the greenery of a number of parks including Talus Street Reserve, Naremburn Park and Dawson and Market Streets Reserve. Nearby, in the suburb of Willoughby, there is the scenic Bicentennial Reserve encompassing Flat Rock Creek and nearly 25 acres (10 hectares) of urban bushland and outdoor recreation facilities.

Naremburn is bisected by two freeways – the Warringah Freeway, completed in 1978 and the Gore Hill Freeway, completed in 1992. Prior to these developments there was community concern that the character of the area would be affected. Naremburn is one of the oldest suburbs on Sydney's north shore, distinguished by small Federation-style detached cottages in timber or brick. However, in the last 30 years there has been an increase in medium density housing developments, such as townhouses, which has also raised community concern. In 1984 the National Trust of Australia (New South Wales) classified Naremburn as an urban conservation area, providing guidelines for new development to enhance, rather than conflict with, the character of the area.

The Cammeraygal people

Naremburn is within the traditional lands of the Cammeraygal people of the Guringai nation, who lived in what is now the Willoughby city area until the 1820s. Not a lot is known about the Aboriginal people who frequented Naremburn and its immediate surrounds, however shellfish middens can be found in Flat Rock Creek Reserve. By 1830, it seems that there were no longer any Aboriginal people following a traditional lifestyle in the area.

² Dictionary of Sydney, "Naremburn," <https://dictionaryofsydney.org/entry/naremburn>

The mystery of the name Naremburn

The exact origin of the name Naremburn is unknown, although a number of theories have been proposed. One such theory is that the term is a corruption of Merrenburn, the name of the home of Alexander Dodds, who was an early landowner in the area. There has also been speculation that Naremburn is a variation on the Scottish term 'near a burn', alluding to the proximity of Flat Rock Creek. Yet another theory is that Naremburn is an anglicised version of the Aboriginal terms 'narra', referring to forks, forking or forked, and 'burren', which means creek or a similar feature. Prior to development, Flat Rock Creek in Naremburn was joined by another creek creating a 'fork', so the Aboriginal terminology would have aptly described a significant geographical feature. This theory is strengthened considering that Naremburn referred to the entire district from the late 1800s, as opposed to just the town.

Settlement and the development of the township

Small grants were settled in the Naremburn area from 1853. From the mid-1800s to the 1910s, houses were constructed, businesses opened, and a town developed. Known as Central Township, it was bound by Central Street, Brook Street (previously Wilson Street), Garland Road and Adolphus Street. The land on which Central Township developed originally comprised two crown grants of about six acres (2.4 hectares) each, granted to Dugald MacPherson in 1853 and 1854. MacPherson died in 1854 however, and the land remained in his wife's name until her death in 1878. At this time George Penkivil Slade, a solicitor from Sydney, obtained ownership. In October 1879 Slade sold the land to the Surveyor of Sydney, George Bishop, who completed subdivision of the land for development.

In the early days, Naremburn was not a wealthy area and Central Township was locally referred to as Dog Town or Pension Town. Some of the homes in the area were constructed of timber, brick, or sandstone. However, many were also made of freely available local materials such as bark or wattle and daub, a 'method of constructing walls in which vertical wooden stakes, or wattles, are woven with horizontal twigs and branches, and then daubed with clay or mud'. There are still a fair number of houses in Naremburn that date back to the 1800s. When they were first built, these homes would have been workers' cottages, and it is ironic that many of them have now been restored to a luxurious standard that was certainly out of reach for the original owners.

Early businesses

From the mid-1800s to the early 1900s, businesses in the Naremburn area included a slaughterhouse, horse breakers, a piggery, a small cabinet factory, orchards and a couple of dairies. Two quarries operated in the area, producing

sandstone that was used extensively in the construction of buildings throughout Willoughby. Stone from the quarries used to be transported to a wharf on Flat Rock Creek where it entered Long Bay. The stone would then be loaded onto barges for transportation to building sites. As Naremburn grew, there was a greater need for transport, and a private bus service operated throughout the 1920s.

With businesses offering the possibility of employment, more people moved into the Naremburn area, encouraging the growth of the retail sector. The earliest shops in Naremburn were on Central Street, Slade Street, Wilson Street and Garland Road. There are still buildings in Central Street and Slade Street which retain the original shopfronts. By 1880 the main shopping area was in Market Street (hence the name). With the arrival of the trams in 1896, the shopping area moved to its present location on Willoughby Road.

The Cammeray bridge

The Cammeray bridge is on the Naremburn/Northbridge/North Sydney boundary. It was built in 1892 by the North Sydney Investment and Transport Company. It rapidly deteriorated and in 1912 the company offered it to the state government on the condition that they remove the toll and repair the bridge. In 1936 the bridge was designated for pedestrian use only for safety reasons. The government planned to demolish the original bridge and rebuild a modern bridge, but after local protest the original stanchions were kept, and a new concrete arch was added. The Cammeray bridge was finally reopened in 1939.

Churches

St Cuthbert's Church of England was opened in 1883 at 53 Market Street, to be replaced in 1916 with a new building on the corner of Willoughby Road and Merrenburn Avenue. St Leonard's Catholic church, on the corner of Willoughby and Dalleys roads, opened in 1913 but the spire, now a landmark in the area, was not added until 1955. Naremburn Church of Christ occupied a site in Central Street from 1925 to 1985, and the Congregational church occupied a site on the corner of Glenmore and Quiamong streets from 1907 to 1973.

Schools

Naremburn Public School operated from 1887 to 1990 on the corner of Dalleys and Willoughby roads. The first head teacher was a Mr William Swann, and at the end of 1887 the school had 180 pupils. Although the school was coeducational, attempts were made in the early days to segregate boys and girls. This task wasn't always easy considering that, as enrolments rapidly increased, the school was often overcrowded. In the 1920s the need for extra classroom space required

classes to be held in the church hall across the road. The school was extended in 1927, and enrolments peaked at 1700 in 1930. After this time enrolments steadily decreased due to the aging population of Naremburn, and as public transport improved, many residents opted to send their children to private schools outside the Naremburn area. In 1987 Naremburn Public School had only 120 students. The school finally closed in 1990.

St Leonard's Catholic School, run by the Sisters of Saint Joseph, operated from 1894 to 1996. Enrolments increased rapidly in the early days and eventually more classroom space was required. For this purpose the school acquired a new site, on the corner of Willoughby and Donnelly roads. The school maintained both the Market Street and Willoughby Road sites until 1931, when the Market Street site closed. St Leonard's Catholic School closed in 1996, also due to a steep decline in enrolments.

Henry Lawson

Henry Lawson is regarded as one of Australia's most notable writers of poetry and prose, and many collections of his works have been published over the years. It is a little known fact that this great Australian poet lived in Naremburn periodically in the early 1900s. At this time, Lawson was in his forties, and an alcoholic who was unable to maintain his financial obligations. He lived the life of a vagrant, never staying in one place for very long. Due to these factors, the majority of Naremburn residents were not particularly welcoming.

Lawson did however manage to gain the sympathy of a few Naremburn residents. One such resident was Mrs Isabel Byers, a widow who may have been in need of company, or who perhaps simply took pity on the bedraggled poet. He stayed at her home on Market Street from June 1906 to January 1907. A number of years later, soon after World War I, Lawson returned to Naremburn. Although it is unknown where he stayed this time, the chances are that it was with another kindly benefactor. Lawson was aware of his drinking problem and took care not to become too offensive in the company of his benefactors. On occasions when he needed to 'dry out' to some degree, he would stay in a cave under a large overhanging rock in Flat Rock Gully. Today this cave is known as Henry Lawson Cave, and is a venue for community events, particularly poetry readings featuring the works of Henry Lawson.

2.2 Site Specific Development

The original Church was opened in Market Street by the Sisters of St Joseph in 1894, likely in an old shop and post office.³ Despite alterations and additions, the congregation would spill onto the street during mass. The Sisters held numerous fundraising functions, including a concert in the School of Arts in North Sydney to fund the construction of a new school and Church.

According to Eric Wilksch:

Fortunately those entrusted with the task of seeking an appropriate site were men of vision and selected a fine site at the corner of Willoughby and Donnelly Roads, part of the Alexander Dodds Estate which was part of the original grant of J. S. Ryan of 1849. This portion of the estate was known as Dodds' Picnic Grounds. The plans for the new church were of magnificence and vision.

Alexander Dodds, a land-holder of that area, named his home Merrenburn, which was later adopted as the name of the adjacent street.⁴ The origin of the name is not known. Dodds was a devoted and generous member of the Anglican Church in Market St from its inception. He was also Sunday School Superintendent.

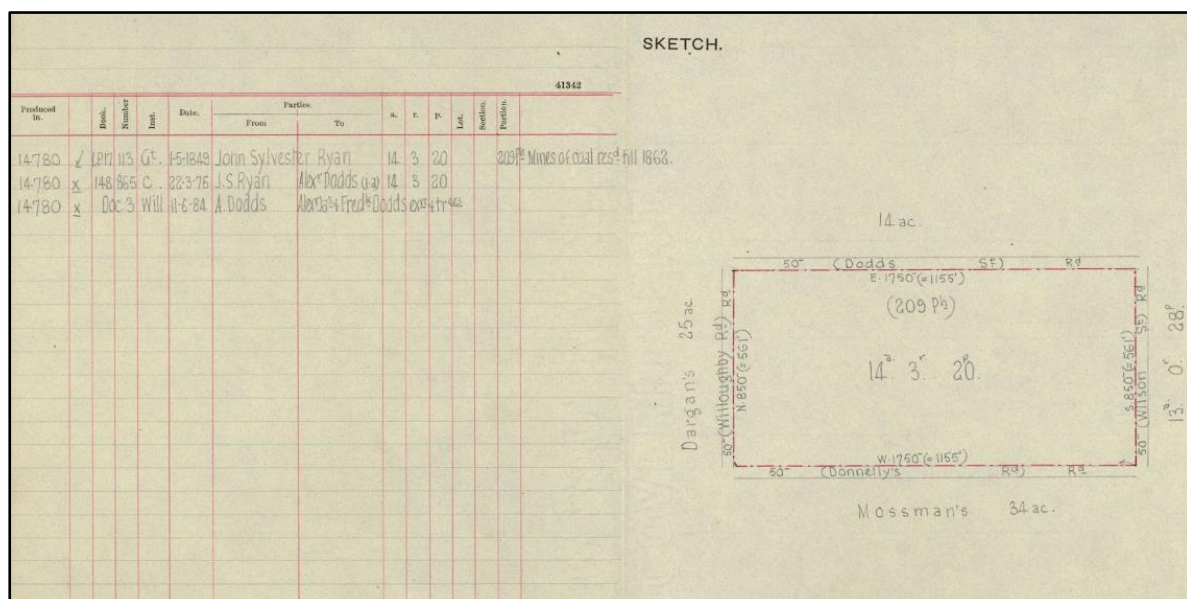


Figure 4. Details of the original allotment, as outlined in the Primary Application no. 14780. (Source: HLRV, <https://hlrv.nswlrs.com.au/>)

Plans for the Church developed in the early 1900s, designed by architect J.T. McCarthy and constructed by Brown and Haynes of Marrickville. The foundation stone for the Church was laid in April 1913 by Archbishop Kelly and the Church was dedicated by the Right Reverend Monsignor O'Haran. According to a publication in the Freeman's Journal, the purchase of the site cost £110, the new building cost £3423, the architecture fees £171, seating accommodation £252, altar platform

³ Eric Wilksch, "Bicentennial Book, The Naremburn Story," 123.

⁴ Willoughby City Library, "Places," <https://libraries.willoughby.nsw.gov.au/History-at-Willoughby/Places>

and marble steps £55, alterations to the roof £90 and the construction of the choir gallery and altar rail £27.⁵ Donations also included carpets, the High Altar, candlesticks and various other items, donated by the local Catholic community.

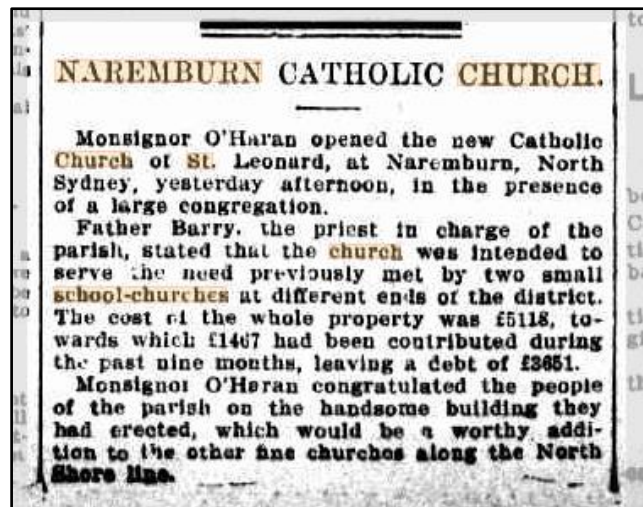


Figure 5. Newspaper article printed in the Daily Telegraph concerning the opening of the new Church. Printed on 8 December 1913, page 6. (Source: Trove, <https://trove.nla.gov.au/newspaper/article/238969106>)

The “western end of Church has been finished temporarily with wood, the porch also being of the same material. The completed plans show a length of 136 feet with two towers and a spire 118ft high, and there will also be an organ gallery.”⁶

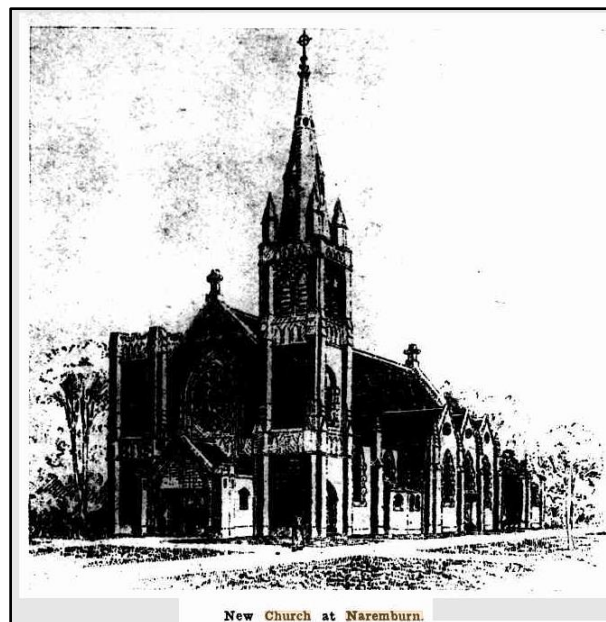


Figure 6. Proposed form and scale of the Church, as printed in the Catholic Press on 10 April 1913, page 23. (Source: Trove, <https://trove.nla.gov.au/newspaper/article/105158669>)

⁵ Trove, <https://trove.nla.gov.au/newspaper/article/108170625>

⁶ Trove, <https://trove.nla.gov.au/newspaper/article/108170625>

Although the Church had been renting a nearby dwelling as a presbytery, by 1917 various fundraising events were being held for the construction of a presbytery adjacent to the Church.

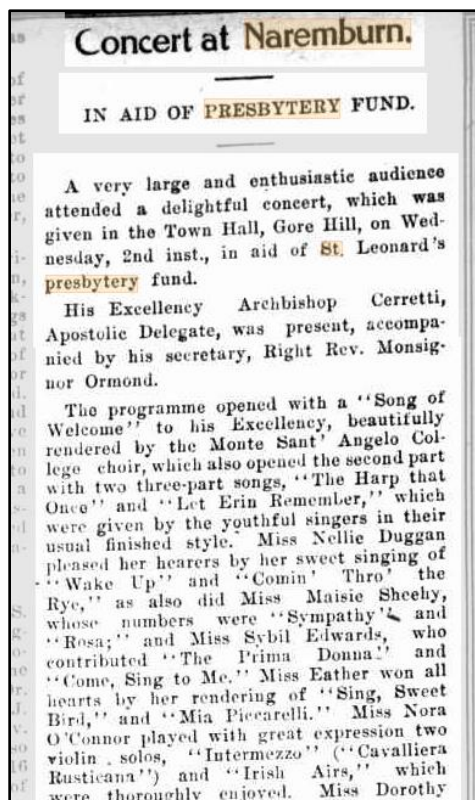


Figure 7. Concert for the Presbytery Fund. Article printed in the Catholic Press on 10 May 1917, page 24. (Source: Trove, <https://trove.nla.gov.au/newspaper/article/105172881>)

By 1918 the plans for the presbytery had been prepared by J.T. McCarthy and had been approved by the Archbishop of Sydney.



Figure 8. Opening of the Presbytery, article printed in the Sydney Morning Herald on 17 December 1919, page 8. (Source: Trove, <https://trove.nla.gov.au/newspaper/article/15876343>)

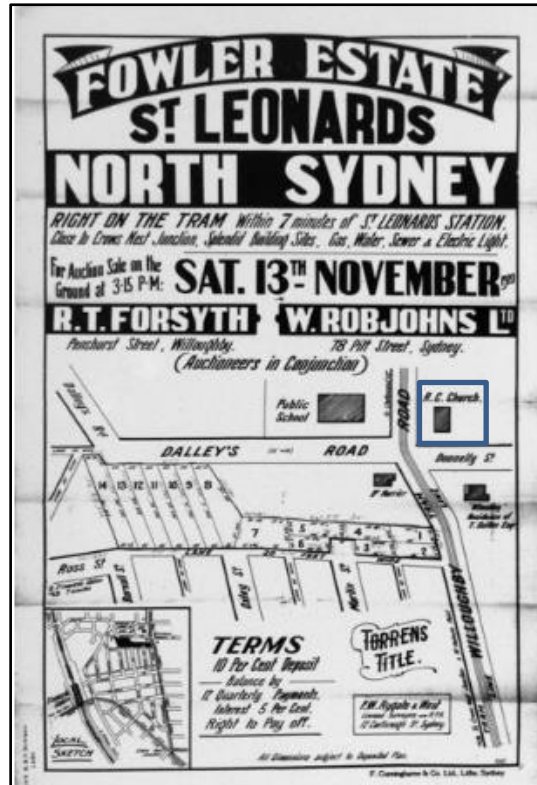


Figure 9. Fowler Estate subdivision map, for sale on 13 November 1920. The location of the Church is outlined in blue. (Source: Willoughby City Library, 0010492, <https://willoughby.spydus.com/cgi-bin/spydus.exe/FULL/WPAC/ALLENQ/10226554/6818590,23>)

During 1930s the school was granted approval for 3 additional classrooms due to an increase in enrolments. By that stage, the school had 130 enrolled students.

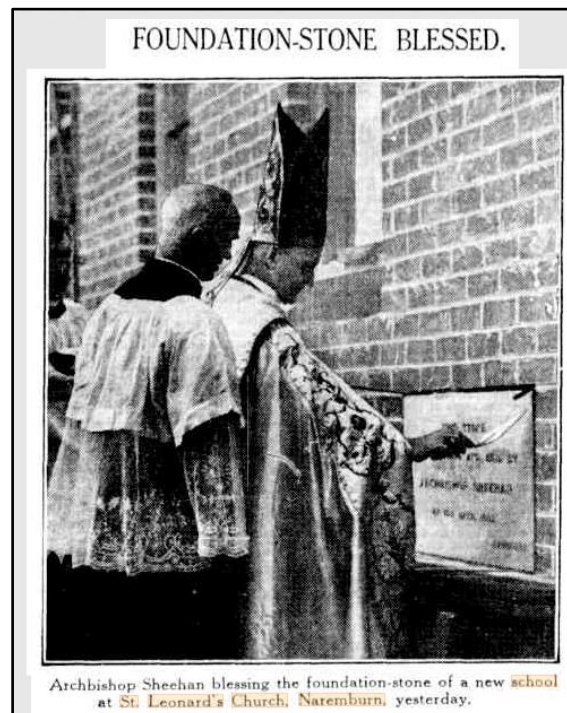


Figure 10. Blessing of the Foundation Stone at the Church. Image printed in the Sydney Morning Herald, dated 11 April 1932, page 12. (Source: <https://trove.nla.gov.au/newspaper/article/16854796>)

As seen in the 1943 aerial photograph (refer to Figure 15 below) the original eastern section of the church was built in 1913. The c1920s historical photograph from the church archives (refer to Figure 11 below) shows the original church building without the western extension and the spire which is existent on-site today. The western extension including the spire were constructed in 1955, designed by Allan G. Robertson.

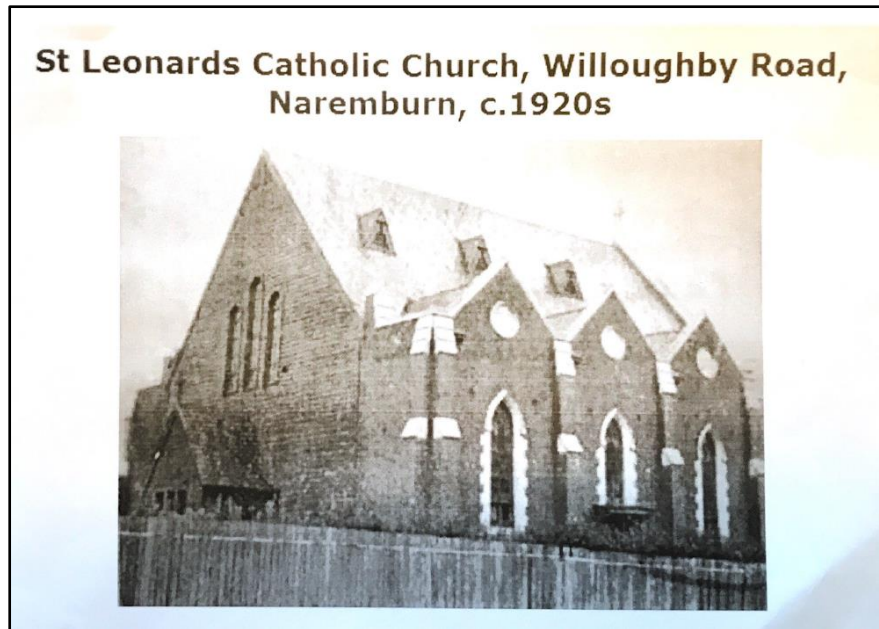


Figure 11. 1920s photograph showing the original eastern section of the St Leonard's Catholic Church. Note the western extension and the spire has not been constructed. (Source: St Leonard's Catholic Church archives)



Figure 12. The construction of the spire, c.1955. (Source: Eric Wilksch, "Bicentennial Book, The Naremburn Story," 126)

The construction of the spire was detailed by Eric Wilksch:⁷

Although the original plans were for twin spired towers, the architect and others considered a single spire the more appropriate structure to complete the church, given the aesthetics of the building and the elevation of the site which made it a distinctive landmark. Allan G. Robertson of Kingsgrove, an architect of merit and a member of the church, was commissioned to carry out extensions and add the spire. Spire building of timber with a copper sheath, as generally practised, was becoming a lost art as so few spires were being built. Consideration was given to employing more modern means of construction. Stan Hall, a civil engineer of the North Shore, was approached to see if he would consider designing a structure utilising steel. Mr Hall accepted the challenge, foreseeing a major difficulty in safely placing a completed spire into position on the tower. Its galvanised steel framework was prefabricated in two sections for delivery, assembled on the site and hoisted in entirety on to its permanent position, complete with the attractive and appropriate coronet surmounting it. The copper cladding was then attached and securely seamed. The spire, finished in 1955, assured its intended attraction as a landmark, promoting of course its primary role of ecclesiastic symbolism.



Figure 13. Sir Roden Cutler and dignitaries at the opening of the spire, 1955. (Source: Willoughby City Library, 003880, <https://willoughby.spydus.com/cgi-bin/spydus.exe/FULL/WPAC/ALLENQ/10226554/6814109,1>)

⁷ Eric Wilksch, "Bicentennial Book – The Naremburn Story," 125.



Figure 14. View along Willoughby Road, looking south from Rohan Street. Dated 1978. (Source: Willoughby City Library, <https://willoughby.spydus.com/cgi-bin/spydus.exe/FULL/WPAC/ALLENQ/10226554/6813966,37>)

By the 1990s enrolments at the school had gone down and the school was closed in 1996.⁸

In 2011 approval was granted for the installation of six bells and sound control into the existing bell tower.

⁸ Dictionary of Sydney, https://dictionaryofsydney.org/organisation/st_leonards_catholic_school_naremburn



Figure 15. 1943 aerial of the subject site, the boundaries of the site are outlined in blue. (Source: Six Maps, <https://maps.six.nsw.gov.au/>, annotated by Heritage 21)

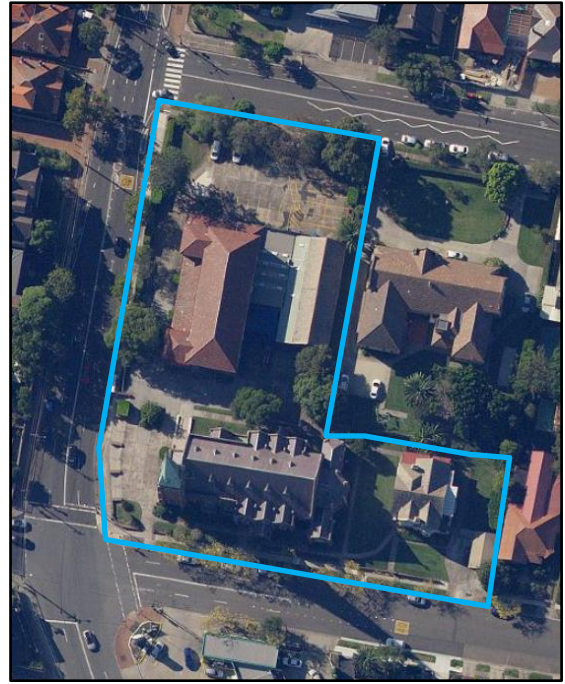


Figure 16. Current aerial of the subject site, the boundaries of the site are outlined in blue. (Source: Six Maps, <https://maps.six.nsw.gov.au/>, annotated by Heritage 21)

3.0 PHYSICAL EVIDENCE

3.1 The Setting

The suburb of Naremburn is a suburb on the lower north shore of Sydney, located approximately 6 kilometres north of the Sydney central business district (CBD). Willoughby Road is a major road that narrows and widens as it extends through various suburbs, connecting to Crows Nest in the South and Willoughby in the north. Donnelly Road is a residential street consisting of single and two storey Federation style dwellings and contemporary town house development. The Gore Hill Freeway is located to the east.

The subject site is located at 43 Donnelly Road, Naremburn, on the northern side of Donnelly Road, in a landmark position at the corner of the intersection of Willoughby Road and Donnelly Road. The subject site is also bounded by Merrenburn Avenue along its northern boundary. St Leonard's Catholic Church is a landmark within the Naremburn locality due to its imposing height. Other landmark qualities of the Church are that it is built on a podium on a busy intersection directly accessible and addressing the sidewalk along Donnelly Road.

The subject site is located on an irregular shaped allotment consisting of three lots. A single storey Federation dwelling is located to the east of the subject site. A car wash and fuel station are located to the south of the subject site along Donnelly Road. The former Naremburn Public School which has now been converted into residential development is located to the west of the St Leonard's Catholic Church, along Willoughby Road. The Naremburn Cammeray Anglican Church is located to the north of the subject site along Merrenburn Avenue. Adjacent to the subject site along Merrenburn Avenue to the east is the former convent of the Sisters of Saint Joseph who managed the Catholic School. The section of Willoughby Road where the subject site is located consists of a mix of residential development. This locality is characterised by low to medium density structures.

3.2 Views

The subject site is a landmark site within the Willoughby Road and Donnelly Road streetscapes, located at the northern corner of the intersection of Willoughby and Donnelly Road. The primary views to the site from the public domain are from Merrenburn Avenue, Willoughby and Donnelly Roads. Primary view lines to the primary (western) façade of the church are made from the Willoughby Road streetscape. View lines into the southern elevation of the site are made from Donnelly Road. The primary views to the presbytery are from Donnelly Road.

3.3 Physical Description

St Leonard's Catholic Church complex comprises St Leonard's Catholic Church, the presbytery, the former St Leonard's School building and associated extension. The buildings have undergone various modifications since construction due to the various changes in use throughout the history of the site.

The following photographs have been taken by Heritage 21 at the site inspections undertaken on 1 April 2021 and 12 August 2021, unless stated otherwise.

3.3.1 St Leonard's Catholic Church

Exteriors

The St. Leonards Church at 43 Donnelly Road, Naremburn is a Neo- Gothic structure constructed in 1913. It is set on a corner allotment of Willoughby and Donnelly Roads and is substantially setback from the western street boundary along Willoughby Road. The subject site is accessed by later addition concrete steps along Willoughby Road featuring metal handrails. It is separated by a low lying brick boundary wall along Donnelly Road with pedestrian entry gates. The landscape setting of the church appears to have been altered and is not original. A concrete slab and pathway have been constructed right against the walls of the church in some areas.

The church features a sandstone parapeted gable roof over the nave and a series of three protruding gables over the north and the south transept respectively. The gable roof over the nave also exhibits a series of small gablets. The roof of the church is lined with slate roof tiles. The tower located in the south-western corner features a spire with its roof clad in copper. The roof includes original copper rainwater gutter and downpipes. The copper rainwater downpipes include engraving of the year that they were installed.

The church is built in red brick masonry with tuck pointing. The western elevation of the church along Willoughby Road features a rose window with sandstone tracery. A pointed arched entry door is located to the tower providing entry to the foyer of the church. The door has a timber window with sandstone detailing to its edge. A statue of the patron of the church, St Leonard is located in a niche above the main entrance door along the western façade. The foyer of the church features a lean to roof with slate tiles. The foyer also has an entry door located along the northern façade. The windows of the foyer feature simple sandstone tracery with stained glass leadlight glazing. The northern and the southern facades of the church include large pointed arch windows with sandstone plate tracery with leadlight glazing. The pointed arch windows to the side elevations have large sandstone stone blocks to their edges. The north and south transepts of the church have porches with timber entrance doors accessed via concrete steps and have brick masonry side walls with sandstone edging.

The east elevation of the church features the brick masonry walls of the apse with a sloping roof with slate tiles. The sanctuary has stained glass lead light glazing windows with intricate details. The windows of the sacristy located to the south are square timber windows with lead light glazing. However, the windows of the Nuns' chapel located to the north appear to have been altered and are timber windows with clear glass glazing.

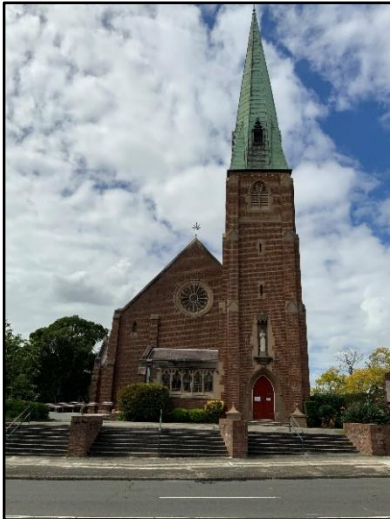


Figure 17. External view to the western elevation of the Church, facing east across Willoughby Road.



Figure 18. External view to the eastern elevation of the Church from Donnelly Road, facing west.



Figure 19. External view to the southern elevation of the Church from Donnelly Road, facing north.



Figure 20. External view to the entrance of the northern transept located along the northern elevation as viewed from within the site, facing south.



Figure 21. External view to the northern elevation of the Church from within the site, facing south-east.

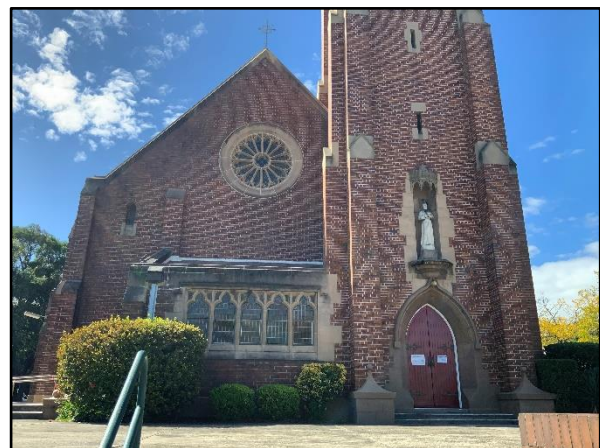


Figure 22. External view to the western elevation showing the timber entrance door and the leadlight windows of the foyer as viewed from Willoughby Road, facing north.

Interiors

The internal layout of the church includes a foyer to its west which presents plastered walls and sandstone cladding till the sill level of the windows. Some parts of the plastered walls in the foyer have been painted and have grooves to imitate sandstone blocks. The flooring of the foyer is terrazzo flooring, and the spaces includes timber panelled ceiling. Two entrance lead from the foyer to the central nave area of the church. Narrow timber stairs are located to the north of the entrance doors leading to the choir area and the bell chamber. The choir area is a suspended timber structure located on the mezzanine level. Access to the bell chamber is located from the choir area. The timber panelling to the choir area has decorative engraving and details and has hardwood timber benches.

The interior of the church exhibits the exposed timber roof structure of the church including the timber trusses, rafters and purlins. The roof is lined with timber panelling. The central nave area of the church has two rows of hardwood pews. Sandstone columns are located within the interiors of the church witnessed in the transept areas. The walls above the pointed arches between the nave and the transepts are plastered and painted white. The columns in the transept areas are of sandstone and the pointed arches have sandstone lining. The doors leading out to the transept are timber panelled doors with three leaves. A chapel is located next to the northern transept. The nuns' chapel is located in the north-eastern section of the church building next to the sanctuary. The nuns' chapel has terrazzo flooring and timber tongue and groove ceiling. The door leading to the exteriors from the nuns' is a timber door, most likely original. The rectangular timber windows in the nuns' chapel have been altered and have clear glass glazing with timber frames. The sanctuary is located to the east of the church and has a timber alter. Sandstone cladding is witnessed to the walls of the sanctuary till the sill level of the decorative stained glass leadlight windows. The terrazzo flooring in front of the alter feature decorative floral design highlighted with green terrazzo outlining. The underside of the timber roof of the sanctuary has been painted. A sacristy, located to the south of the sanctuary has been altered. Lightweight partition walls have been constructed in the sacristy to accommodate the pantry and the bathroom. These rooms have a combination of terrazzo and carpeted flooring and have timber tongue and groove ceilings. The rectangular timber windows in this section of the church are original and have leadlight glazing.



Figure 23. Internal view of the foyer area of the Church.



Figure 24. Internal view of the Church facing west showing the wheel window and the timber choir area on the mezzanine level.



Figure 25. View to the interior of the Church showing the timber roof structure and the nave area, facing west.



Figure 26. Internal view of the Church showing the nave and sanctuary, facing east.



Figure 27. Internal view of the sanctuary showing the timber altar and the stained glass leadlight windows, facing east.

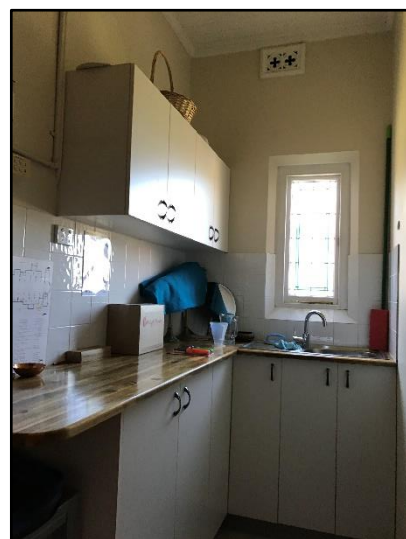


Figure 28. Internal view of the later addition pantry area in the Church, facing east.



Figure 29. Internal view of the nuns' chapel showing the timber ceiling and carpeted flooring, facing north.



Figure 30. Internal view of the sacristy with the timber ceiling and carpeted flooring, facing south-east.

3.3.2 Presbytery

Exteriors

The subject building of the presbytery located to the east of St Leonard's Catholic Church is a two storey building built in the Gothic architectural style in 1919. The presbytery is substantially setback from Donnelly Road and accessed by a concrete pedestrian pathway from Donnelly Road. The subject building is separated from Donnelly Road by a low brick fence. A single storey garage with a gable roof is located to the south-east of the presbytery.

The presbytery is a brick masonry building with rough cast render to its external walls and a complex roof form with slate tiles. The southern (front) elevation exhibits a porch with a pointed arched opening in the south-western corner of the ground floor. The front elevation includes two projecting gable bays. One of the gable ends along the front façade includes a projecting bay with three windows to the ground floor with non-original safety metal screen. The first floor would originally have been an open balcony which has been enclosed with glazing. The front façade of the presbytery also includes a rough cast rendered chimney with terracotta chimney pots. The building includes an open verandah along its eastern façade on the ground floor. The balcony on the first floor along the eastern facade has been enclosed with later addition light weight panels and glazing. The presbytery features original timber doors with leadlight glazing. However, some of the windows of the building appear to have been replaced with clear glass glazing and metal windows. The building has open projecting eaves with timber panelling. The ground floor of the presbytery has been extended to its rear and is a single storey structure with flat roof with metal sheeting as the roof cover. The rear backyard area of the presbytery is an open lawn.



Figure 31. External view of the presbytery as viewed from Donnelly Road, facing north-east.



Figure 32. External view to the rear of the presbytery as viewed from within the site, facing south-west. Note the single storey rear addition with the flat metal roof.



Figure 33. External view to the eastern elevation of the presbytery showing the enclosed first floor balcony as viewed from within the site, facing west.



Figure 34. External view of the single storey garage located south-east of the presbytery.

Interiors

The ground floor of the presbytery includes a formal dining, lounge, kitchen, and study area. The ground floor also includes three bedrooms to the rear of the dwelling. The internal areas in the presbytery have been altered and light weight partition walls have been introduced to divide the spaces. A modern laundry and ensuite bathroom are located to the rear of the dwelling. The lounge and the study open out to the verandah along the east. The ground floor features timber flooring and plasterboard ceilings which appear to be a later addition. The internal walls of the presbytery include timber picture rails. The brick fireplaces found in the guest bedroom, formal dining and the lounge are original. The fireplaces are built in the Gothic style with the bricks till the timber picture level. However, they are no longer in use and the flues of the fireplaces have been blocked off to the chimneys. The internal timber panelled doors on the ground floor appear to be original. The kitchen on the ground floor has been altered and includes all modern finishes. A timber staircase built in the Gothic style connects the ground floor to the first floor. The first floor consists of bedrooms, lounge room, study, prayer room and later addition toilets. The first floor balconies have been enclosed with light weight infill panels and glazing. The first floor features timber flooring with later addition plastered ceiling. The timber panelled doors are original however, the windows have been altered

and the dwelling consists of metal windows. The timber doors leading out the verandah and balconies are original and have leadlight glazing.



Figure 35. Internal view of the sitting room on the ground floor the presbytery. Note the brick fireplace, consistent throughout the building.

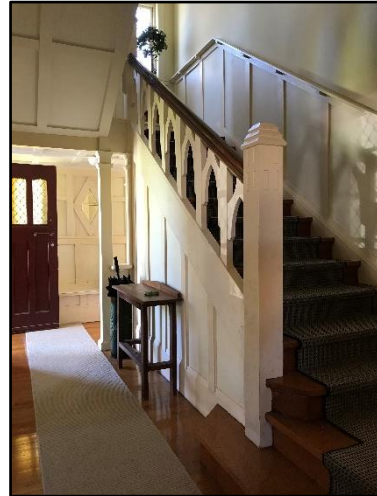


Figure 36. Internal view of the timber staircase within the presbytery.



Figure 37. Internal view of the dining room located on the ground floor of the presbytery.



Figure 38 Internal view of the dining room located on the ground floor of the presbytery. Note the timber doors with leadlight glazing leading out to the verandah.



Figure 39. Internal view of the kitchen on the ground floor of the presbytery. Note the modern finishes in the kitchen.

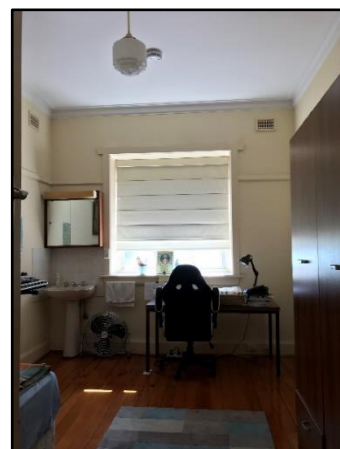


Figure 40 Internal view of bedrooms on the first floor showing timber flooring and later addition plastered ceiling.



Figure 41. Internal view of the bathrooms within the presbytery showing modern fitting and tiling.



Figure 42 Internal view of the lounge room located on the first floor of the presbytery. Note the brick fireplace that has been blocked up.

3.3.3 Former School Building

Exteriors

The Former School Building is a two-storey exposed brick masonry building with an extensive addition that has been converted into an office and community space. The section of the school building located along Willoughby Road is a two storey structure. The rear portion of the building is a single storey structure connected by a later addition connection. The external façade of the school building located along the western boundary along Willoughby Road features timber doors and windows. The windows and doors of the rear section of the building have been altered and replaced with modern steel windows with clear glass glazing. The school building has been altered along its northern façade and has a contemporary addition with a lean to roof. This new addition features concrete steps and metals doors and windows.



Figure 43. View to the Former School Building, facing north-east.



Figure 44. View to the Former School building, facing south-east. Note the spire of the Church.



Figure 45. View to the rear of the former School building and associated extension, facing south.



Figure 46. View to the rear of the former School building and associated extension, facing south-east.

Interiors

The interiors of the school building have been altered over the years and it features later addition plasterboard ceiling with contemporary light fittings. The multipurpose hall located on the ground floor of the school building features timber flooring. The single storey rear section of the school building has been substantially altered to accommodate the community spaces and features modern finishes with new suspended ceilings and carpeted flooring.



Figure 47. View to the interior of the Church Hall, located within the ground floor of the former School Building.



Figure 48. View to the interior of the entrance to the Church Hall, located within the ground floor of the former School Building.



Figure 49. View to the interior of the former School building, including later additions.



Figure 50. View to the interior of the former School building, tea room.

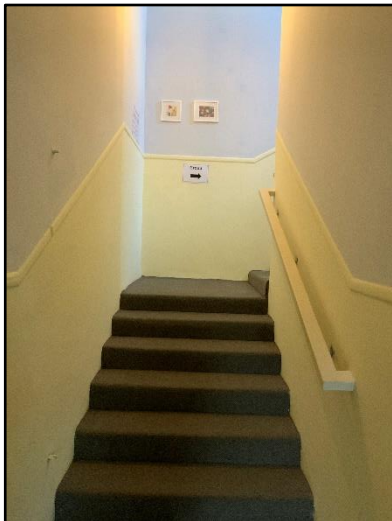


Figure 51. View to the stairs to Level 1.



Figure 52. View to the interior of the first floor of the former School building.

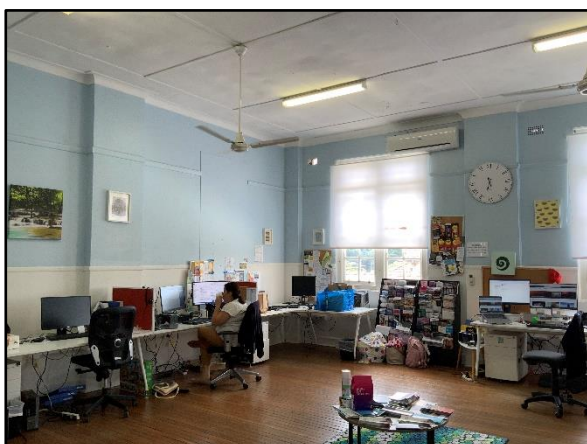


Figure 53. View to the interior of a standard first floor classroom.



Figure 54. View to the interior of a standard first floor classroom.

3.4 Condition and Integrity

The existing buildings and built structures are in varying degrees of condition but generally fair condition. The Church is in very good condition, with recent conservation works ensuring the retention and protection of significant fabric. The Presbytery is in fair condition with general signs of wear and tear and intrusive later additions, such as enclosed verandahs. The former School Building is in fair to poor condition, which has been contributed to by the vacancy of various sections of the building.

4.0 HERITAGE SIGNIFICANCE

In order to assess the impact of the proposed works on the heritage significance of the subject site, and heritage items in the vicinity of the site, it is necessary to first ascertain the heritage significance of these places. Accordingly, Statements of Significance for the subject site (refer to Section 4.1.1), and items I75, I72 and I74 (refer to Sections 4.2.1, 4.2.1 and 4.2.3) are provided below. The significance of these places, will form part of our considerations in the assessment of heritage impact, undertaken in Section 6.0 below.

4.1 Established Significance

4.1.1 St Leonard's Church (I160)

The following Statement of Significance is available for the site on the State Heritage Inventory:⁹

The church has historic importance and architectural and aesthetic significance, within Naremburn and the Diocese. It also has and social significance to the Diocesan Catholic community and is a landmark building within the surrounding area. It is an extremely fine Late Edwardian period church with a very good interior, and which is significantly intact.

4.2 Heritage Items in the Vicinity

4.2.1 Converted Naremburn Public School and Resources Centre

The following Statement of Significance is available for Converted Naremburn Public School and Resources Centre (I156) on the State Heritage Inventory:¹⁰

Established in 1887, Naremburn School is historically significant locally because it provides evidence of the growth and development of the locality during the last quarter of the nineteenth century. It also has historical significance because it is a very early example of a public school building reflecting the reforms in education initiated by the 1902 Royal Commission and the investigations of Peter Board. This is particularly evidenced by the integrated assembly hall around which classrooms are organised. The school is associated with the architectural branch of the Department of Public Instruction and the Government Architects Branch of the Department of Public Works, which was responsible for the 1908 additions. Naremburn School is representative of school buildings designed by the Department of Public Works in the second half of the 1900s, following educational reforms established earlier that decade. Despite modifications the building has retained a relatively high level of integrity. The school is likely to have social

⁹ State Heritage Inventory, "St Leonard's Church (including interiors), <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2660264>

¹⁰ State Heritage Inventory, "Naremburn School - Building B00A," <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=5065910>

significance for the residents of Naremburn and for former staff and pupils. (TKD Architects 2016)

4.2.2 St Cuthbert's Anglican Church (including original interiors) (I172)

The following Statement of Significance is available for St Cuthbert's Anglican Church (I172) on the State Heritage Inventory:¹¹

Adjacent to the Naremburn Central Township Conservation Area and in close proximity to St. Leonard's Church, School and Seminary, St Cuthberts Anglican Church has local significance for its historic associations with the development of religious buildings in the Naremburn area. It has specific associations with well-known Arts and Crafts architect, B.J. Waterhouse, which gives significance in terms of the body of his work.

St Cuthberts has aesthetic significance as a dominant feature in the streetscape. It also displays a number of neo-Gothic and Federation Arts and Craft architectural elements. The church is of considerable social value to the Anglican community in Naremburn. The ongoing use of the site for educational purposes and public worship over the last century, lends significance.

4.2.3 House (including original interiors) (I173)

The following Statement of Significance is available for the House (including original interiors) (I173) on the State Heritage Inventory:¹²

'The house at No 248 Willoughby Road, constructed in 1915 has relevance within the local historical context as it provides evidence of the early development of Chatswood, being one of a group of larger residences built in the Municipality for professional clients' (Graham Brooks & Associates, 2006) .

'The building is a substantial two-storey residence built in the Federation Arts and Crafts style featuring roughcast pebbledash stucco finish across all elevations. Buttressed chimney, hipped roofs with projecting flying gables, oriel windows and sunhoods, timber shingling, casement windows etc demonstrate a picturesque asymmetry typical of the style. With the exception of minor modifications to the entrance porch, the exterior of the building has high integrity' (Graham Brooks & Associates, 2006).

'The interiors of the building with cedar timber panelling and high ornate ceilings are an unusual example of the Arts and Crafts style. Casement windows with

¹¹ State Heritage Inventory, "St Cuthbert's Anglican Church (including original interiors)," <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2660265>

¹² State Heritage Inventory, "House (including original interiors) - Rycote," <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2660275>

leadlight panelling and top lights above contribute to its overall aesthetic value. From the available documentation, the interior appears to have substantial original fabric' (Graham Brooks & Associates, 2006) .

'The house has been used continuously as residential accommodation for nearly a century as a single-family residence with only minor changes to its external fabric and internal layout since its construction. The property is considered heritage significance at a local level for its architectural and aesthetic qualities' (Graham Brooks & Associates, 2006).

3/248 Willoughby Road: 'Has some historical significance as an example of the work of Eric M. Nicholls who was an important local architect and contributor to the development of Castlecrag' (Clive Lucas Stapleton & Partners, 2003)

4.2.4 Group of Shops (I174)

The following Statement of Significance is available for the Group of Shops (I174) on the State Heritage Inventory:¹³

This group of three shops retains many original details and remains substantially intact in its exterior form and first floor street frontage. They provide a good example of early twentieth-century shop buildings and demonstrate the early commercial development of Naremburn. Given their siting on a busy commercial thoroughfare, they possess some social significance for the residents of Naremburn, and the quality of their details makes this group of shops rare in Naremburn.

4.2.5 Shops (I175)

The following Statement of Significance is available for Shops (I175) on the State Heritage Inventory:¹⁴

Numbers 284/284A Willoughby Road, built in 1907 and substantially intact, was an early, prominent corner shop in Naremburn. It demonstrates the commercial development of Naremburn following the coming of the tram. Given its siting on a prominent corner, it also possesses social significance for local residents.

¹³ State Heritage Inventory, "Group of Shops," <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2660026>

¹⁴ State Heritage Inventory, "Shops," <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2660026>

4.3 The Subject Site

4.3.1 Assessment of Significance

In order to make an assessment of whether or not the proposed development to the subject site would have either a negative, neutral or positive impact upon the significance of the subject site including the heritage listed Church, it is necessary first to ascertain the significance of the subject site. The assessment is based upon criteria specified by the NSW Office of Environment and Heritage.¹⁵

Criterion	Assessment
A. Historical Significance <i>An item is important in the course, or pattern, of NSW's (or the local area's) cultural or natural history.</i>	<p>St Leonard's Catholic Church illustrates historical significance for its association with the early development of religious buildings in Naremburn. The presbytery and the school located on the subject site also document the growth and the evolution of the Catholic Church School in the 20th century in the lower north shore of Sydney and within the locality of Naremburn. The presbytery has also retained its original historic use as a residence.</p> <p>As such, the subject site demonstrates historic significance at a local level.</p>
B. Associative Significance <i>An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's (or the local area's) cultural or natural history.</i>	<p>There is no known association with the subject site and a particular person or group of people of importance in either the local area or broader NSW.</p> <p>As such, the subject site does not attain requisite standards of associative significance at a local or state level.</p>
C. Aesthetic Significance <i>An item is important in demonstrating aesthetic characteristics and/or high degree of creative or technical achievement in NSW (or the local area).</i>	<p>St. Leonard's church is a fine example of Neo-Gothic building built in Late Edwardian period. The presentation of the church and the overall form and articulation of the church including a large turret surmounted by a tall, copper-clad spire, stone tracery and detail, large wheel window on western façade, arched windows and doorway openings and a slate roof are typical of the period and the architectural style in which it was designed. The presbytery located on the subject site is also a fine example of Gothic architectural style. The form of the presbytery including the rough cast rendered masonry walls, timber doors and windows with leadlight glazing and a slate tiled roof are typical of this period and architectural style. The subject site is also a landmark site located at the intersection of Donnelly and Willoughby Road.</p> <p>As such, the subject site does demonstrate aesthetic significance at a local level.</p>

¹⁵ NSW Office of Environment and Heritage, 'Statements of Heritage Impact' (Heritage Office and Department of Urban Affairs & Planning, 1996), NSW Heritage Manual, <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/hmstatementsofhi.pdf>.

Criterion	Assessment
<p>D. Social Significance</p> <p><i>An item has a strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons.</i></p>	<p>The subject site is socially significant for the Naremburn and Diocesan Catholic community, as the site was used for a school and as a place for public worship for a long period of time¹⁶.</p> <p>As such, the subject site attains the requisite standards of social significance at a local level.</p>
<p>E. Technical/Research Significance</p> <p><i>An item has potential to yield information that will contribute to an understanding of NSW's (or the local area's) cultural or natural history.</i></p>	<p>The St Leonard's Catholic Church building is an intact example of Neo-Gothic architectural style in which it was designed. However, it is unlikely that the existing building would contribute to an understanding of the architectural style nor development beyond what is already known.</p> <p>As such, the subject site does not demonstrate technical significance at a local or state level.</p>
<p>F. Rarity</p> <p><i>An item possesses uncommon, rare or endangered aspects of NSW's (or the local area's) cultural or natural history.</i></p>	<p>The St Leonard's Catholic Church building is a fine Late Edwardian period landmark building in Naremburn. It has maintained a high degree of integrity. This is a rare item in the area ¹⁷. However, it is not a rare building as Churches of this era with tall spires are not rare within Sydney.</p> <p>As such, the subject site does not demonstrates rarity at a local level.</p>
<p>G. Representativeness</p> <p><i>An item is important in demonstrating the principal characteristics of a class of NSW's (or the local area's) cultural or natural places or cultural or natural environments.</i></p>	<p>The church and the presbytery buildings are representative of the Neo-Gothic architecture style of early twentieth century in which they were constructed. The church building is largely intact and contains remnant fabric of the Late Edwardian period including a large turret surmounted by a tall, copper-clad spire, complex side bays, stone tracery and detail, large wheel window on western façade, arched windows and doorway openings and a slate roof and has retained its presentation to the streetscape. The presbytery has also retained its original form and scale and contains remnant fabric include slate tiled roof, roughcast rendered masonry walls, timber doors and windows with lead light glazing and roughcast rendered chimneys with terracotta chimney pots. The dwelling has retained its presentation along Donnelly Road streetscape.</p> <p>Therefore, the subject site does fulfill the criteria for representativeness at a local level.</p>

¹⁶ Ibid.¹⁷ Ibid.,

4.3.2 Statement of Cultural Significance

The subject site, situated at 43 Donnelly Road, Naremburn, demonstrates historical, aesthetic and social significance at a local level. It is historically significant as a record of the evolution of the Catholic Church and School complex in the 20th century. The site is also historically significant for its association with the early development of religious buildings in Naremburn. Intact architectural features of the Church including the turret surmounted by a tall, copper-clad spire, complex side bays, stone tracery and detail, large wheel window on western façade, arched windows and doorway openings and a slate roof are representative of the Neo-Gothic architectural style in which the St. Leonards Church was designed. The presbytery has largely retained its original form and features intact architectural features like the slate tiled roof, roughcast rendered masonry walls, timber doors and windows with lead light glazing and pointed arched openings which are representative of the Gothic architectural style. The subject building may be and is a fine example of its type and demonstrates representative qualities. However, it is unlikely to further our understanding of the construction and materiality in which it was constructed and there is no known association with a particular person or group of importance within the local area or history of NSW. As such, the subject site does not demonstrate technical or associative significance at a local or state level.

5.0 WORKS PROPOSED

5.1 Proposal Description

The proposed development would include:

- Demolition of the former School building and associated extension;
- Construction of a three-storey building with a basement, comprising 12 townhouses, a Parish Hall and a new presbytery;
- Construction of a new two-storey residential dwelling to the east of the existing Presbytery building;
- Subdivision of the subject site into three lots;
- Retention of the existing Church building;
- Conservation works (refer to the Schedule of Conservation Works report prepared by Heritage 21) to the St Leonard's Catholic Church and the existing presbytery;
- Upgradation of the existing landscape setting of the St Leonard's Catholic Church campus;
- Demolition of the existing garage structure associated with the Presbytery;
- Construction of a carport in front of the existing presbytery building.
- Introduction of two new private driveways for the existing presbytery building and new dwelling; and
- Alterations and additions to the existing presbytery building to convert it into a residence;

5.2 Drawings

Our assessment of the proposal is based on the following drawings by Marchese Partners dated 6 September 2021 and received by Heritage 21 on 8 October 2021, these are reproduced below for reference only; the full set of drawings accompanying the development application should be referred to for any details.

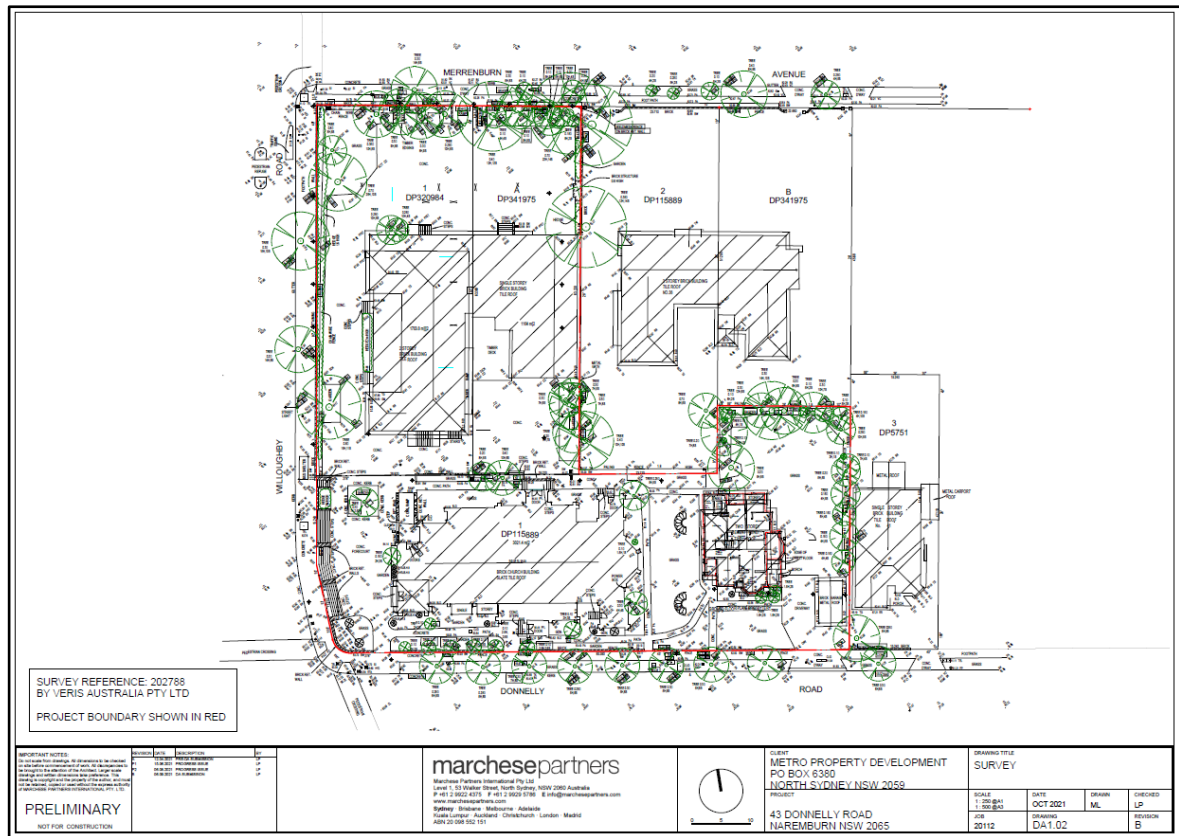


Figure 55. Survey of the existing site.

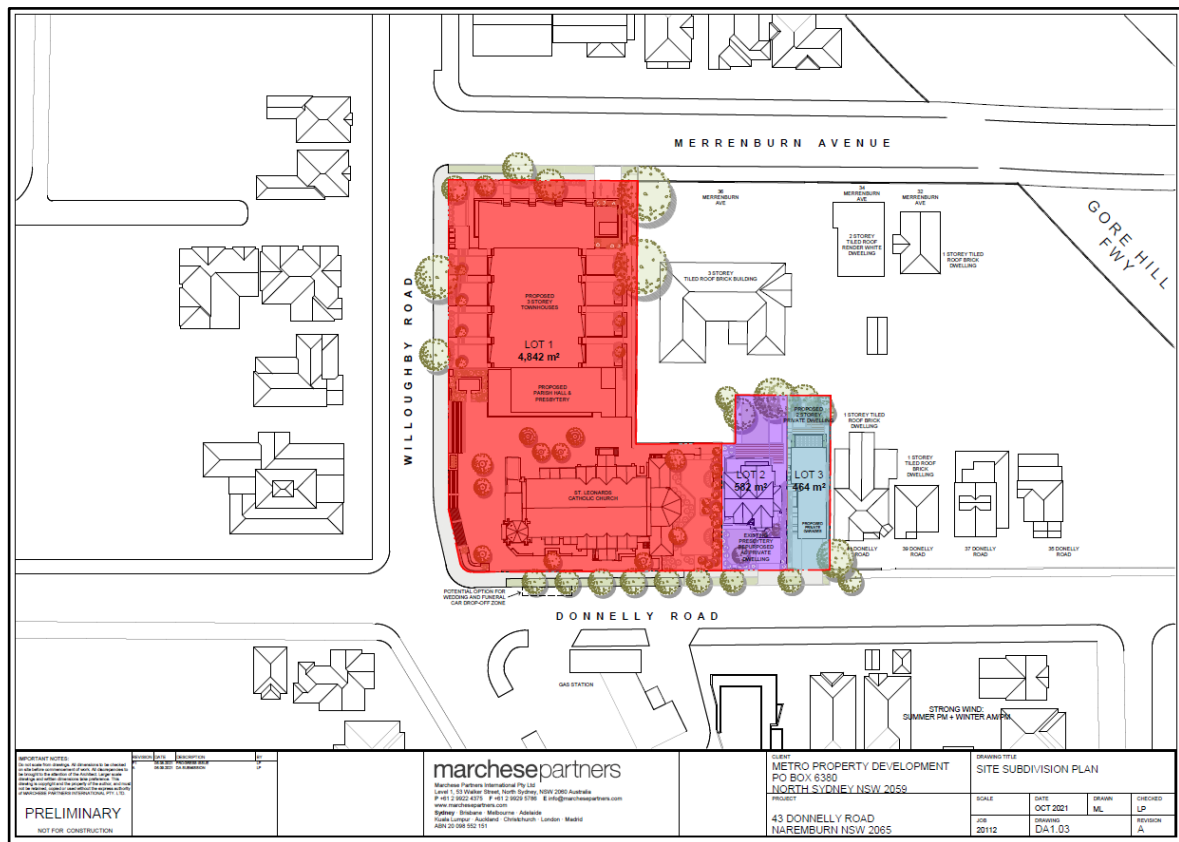


Figure 56. Proposed subdivision plan.

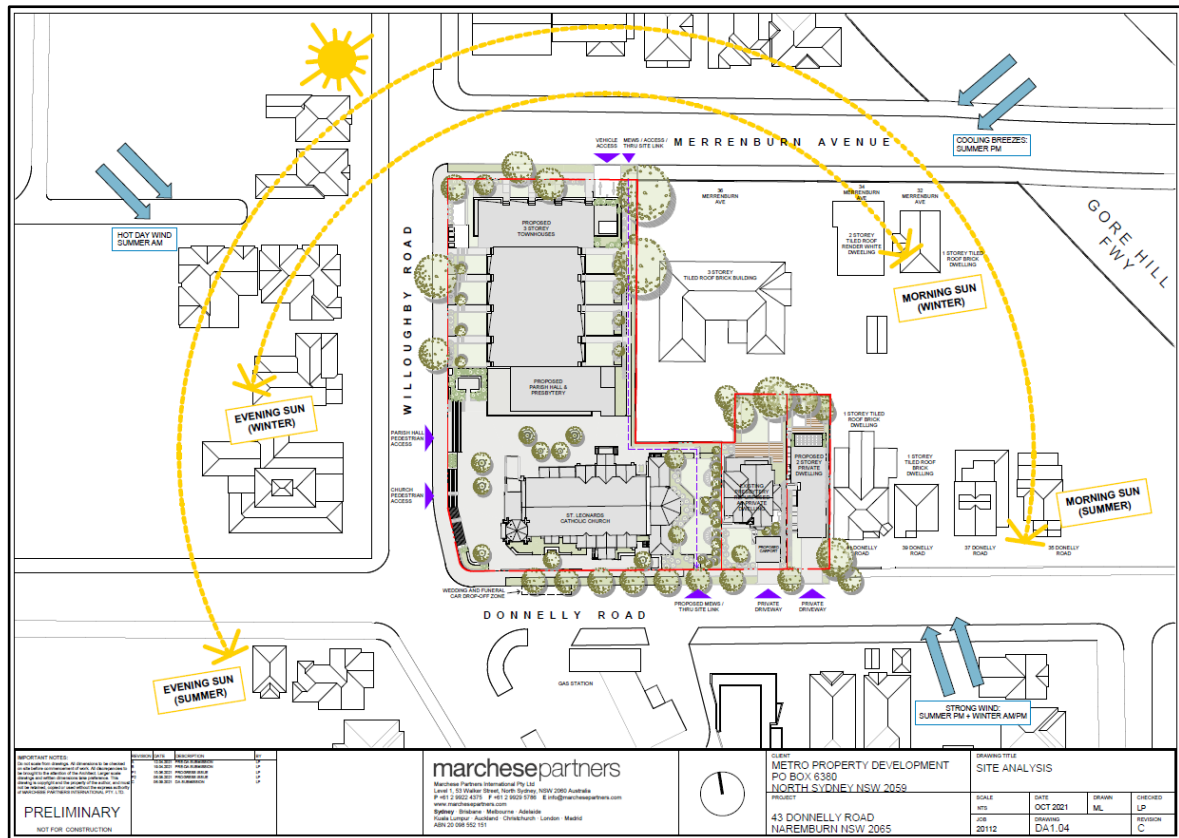


Figure 57. Site analysis.

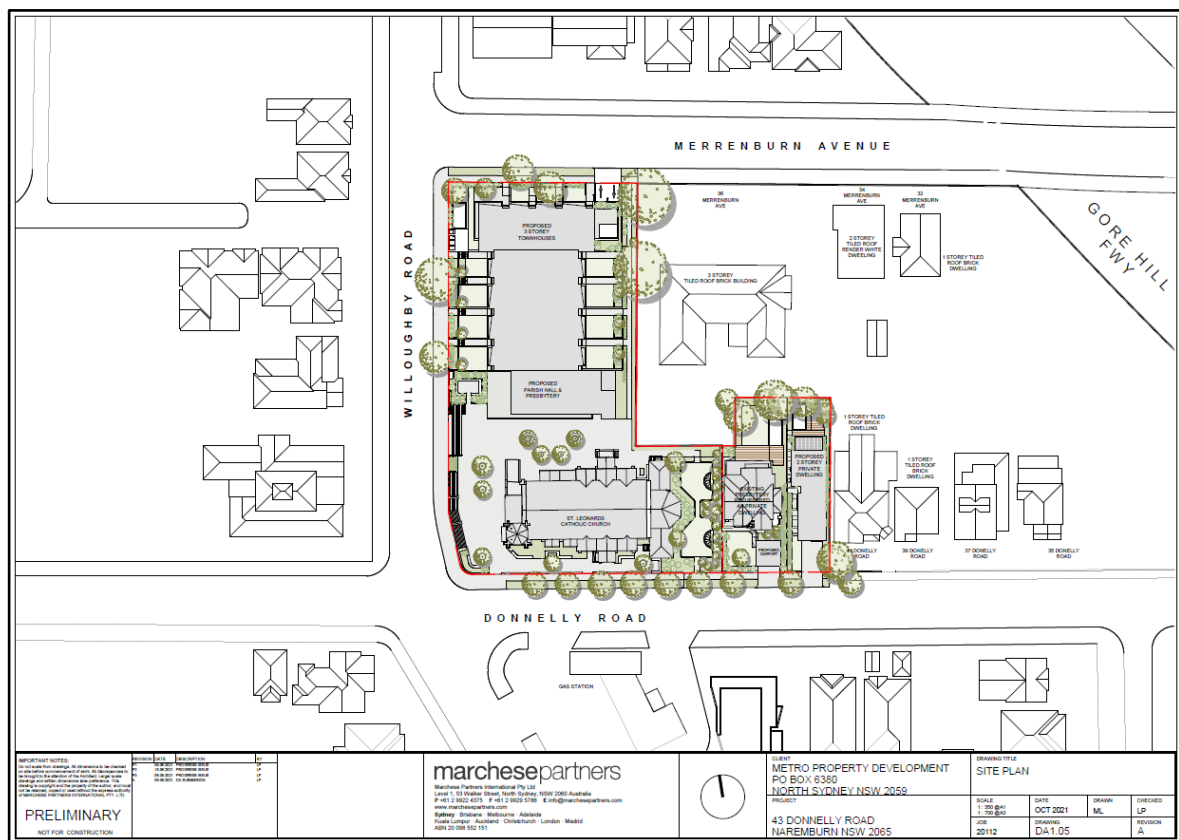
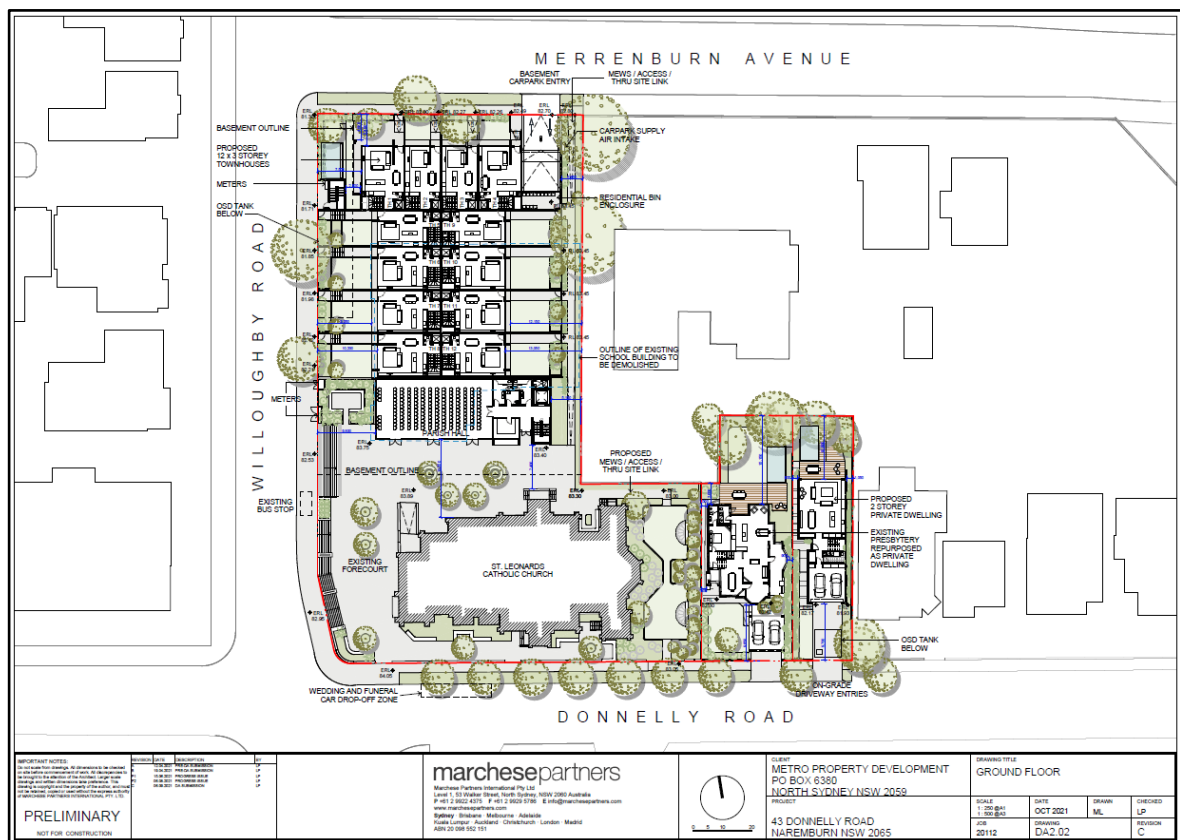
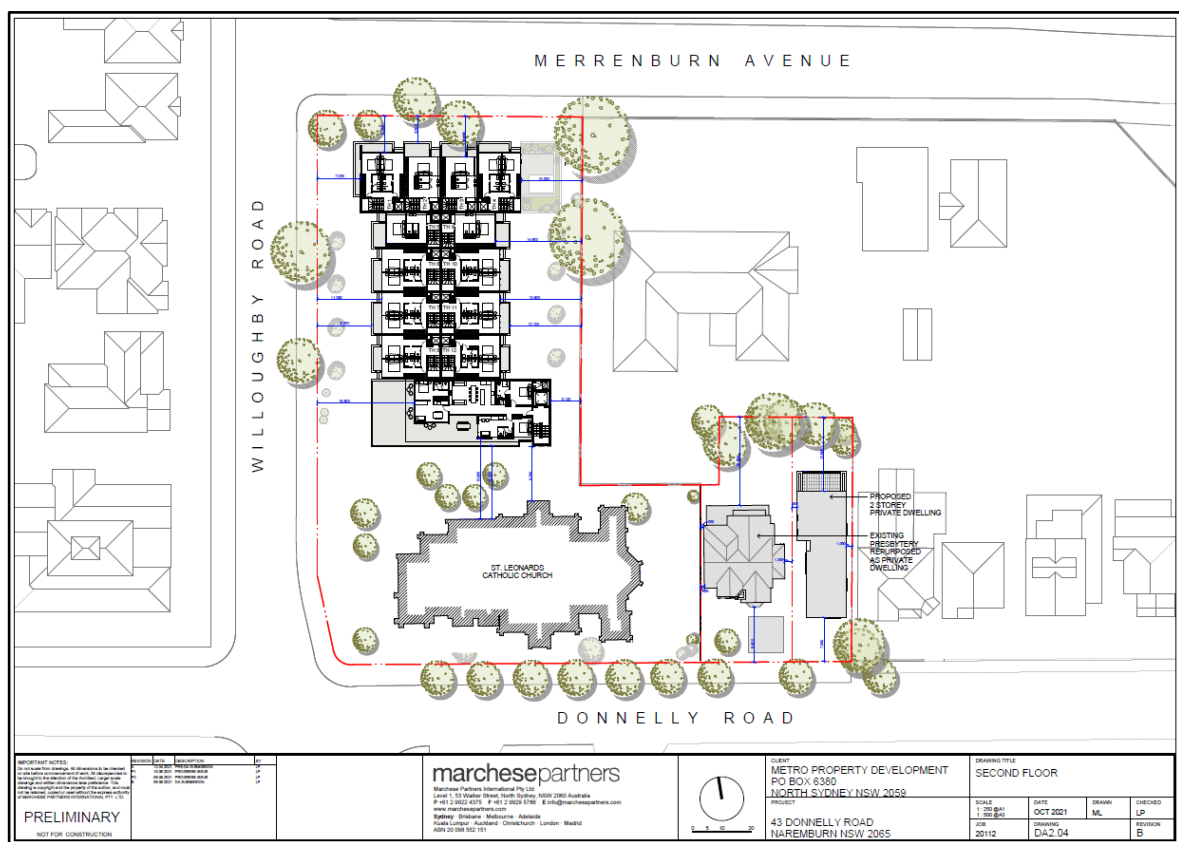
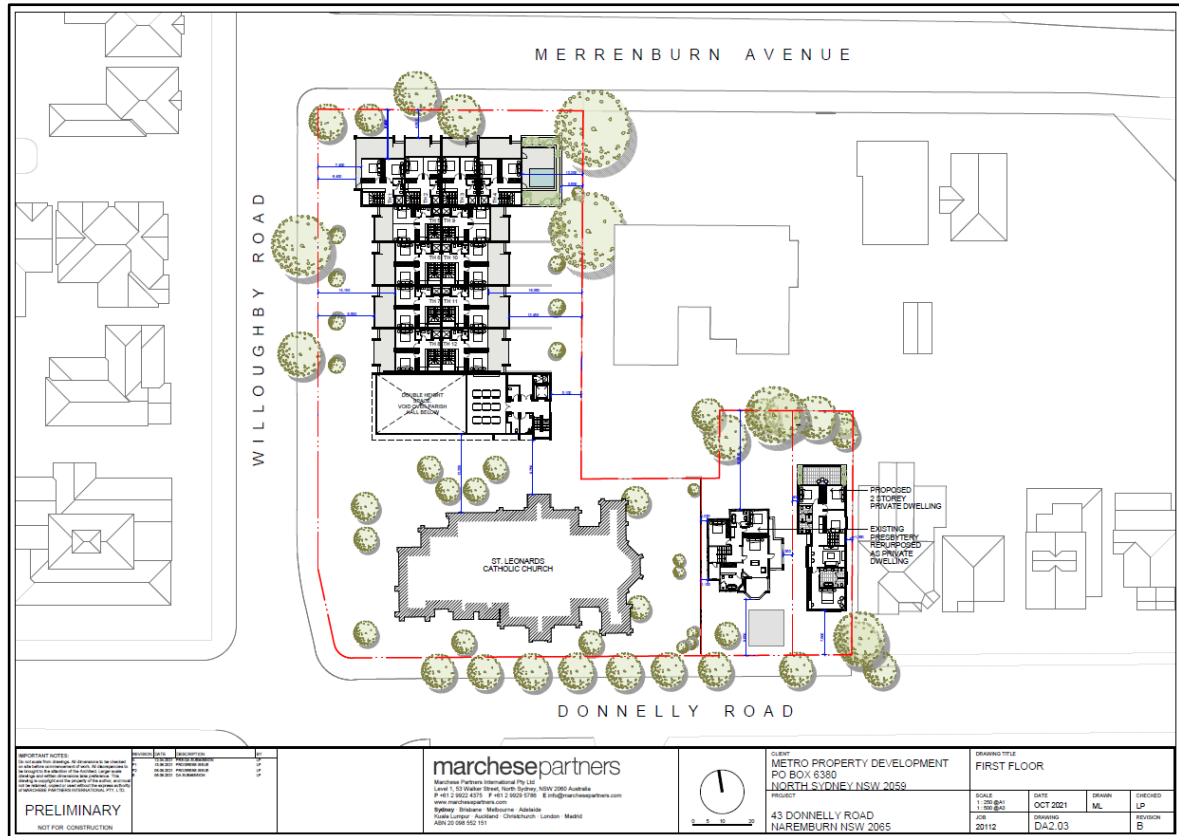
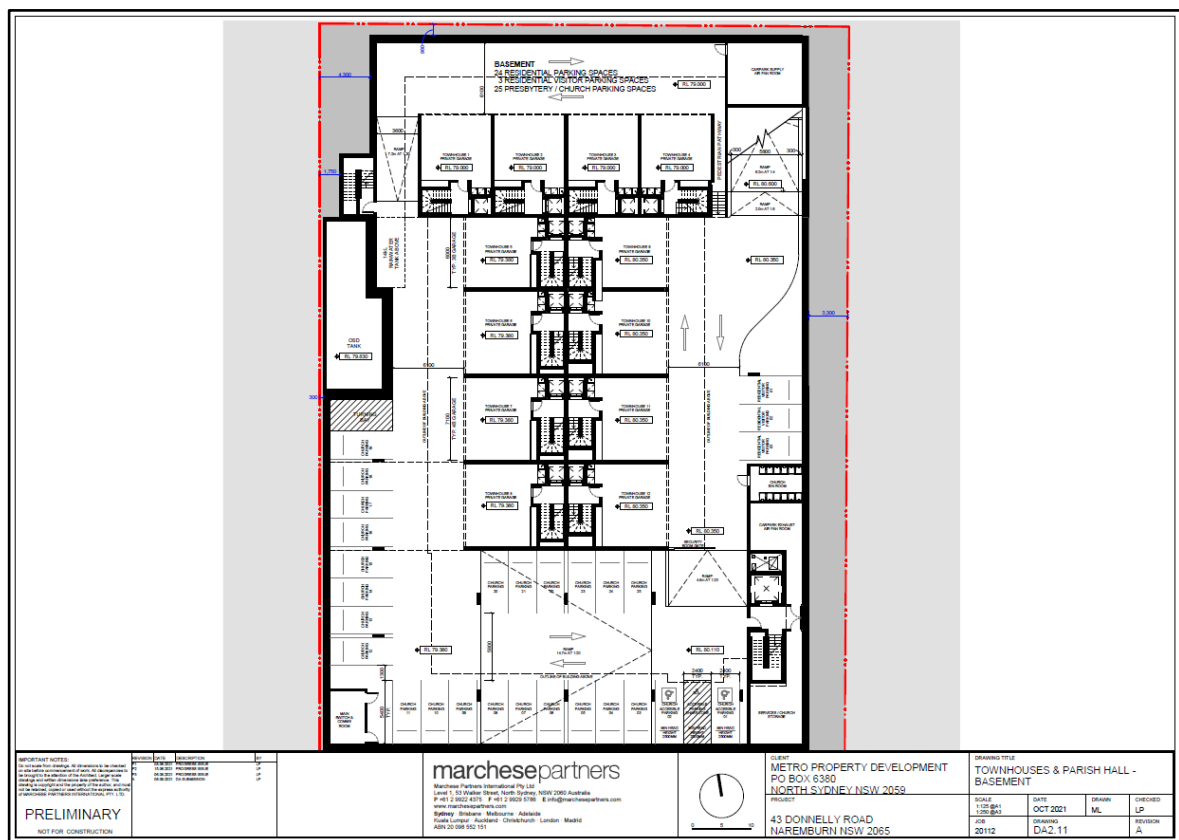
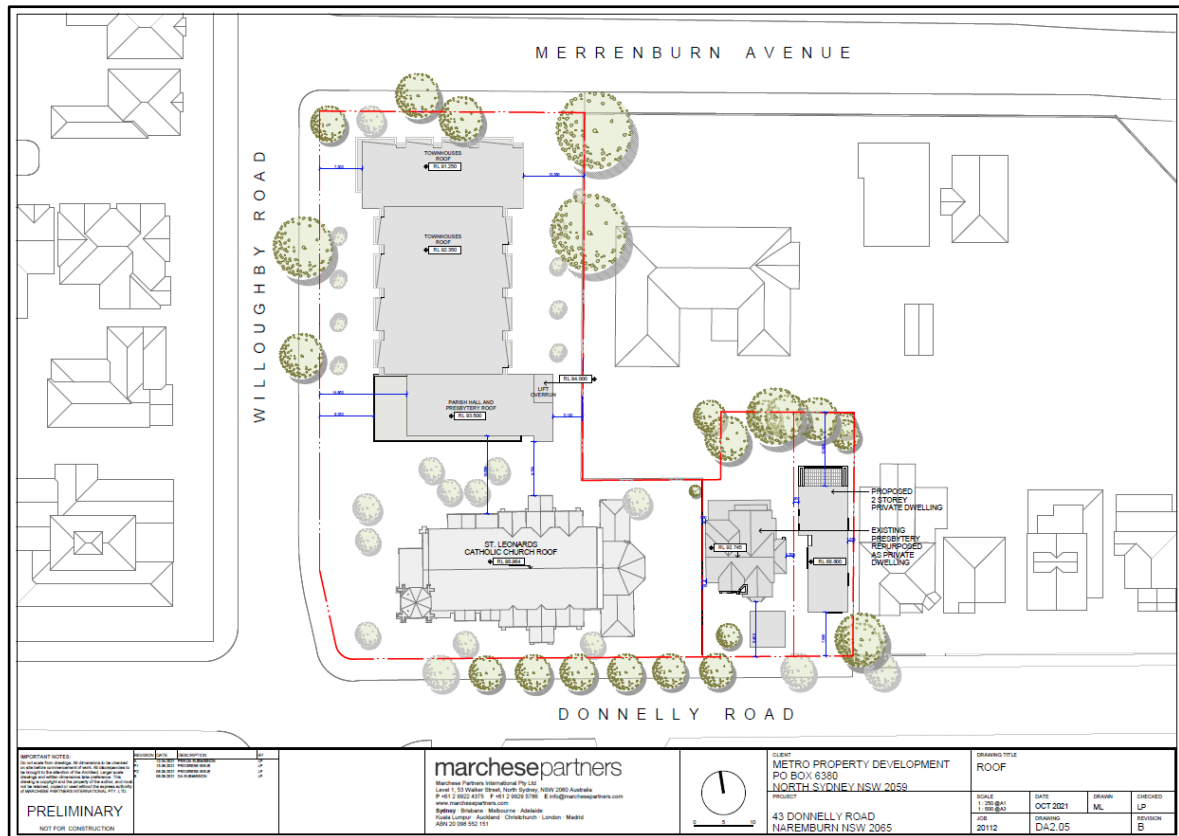
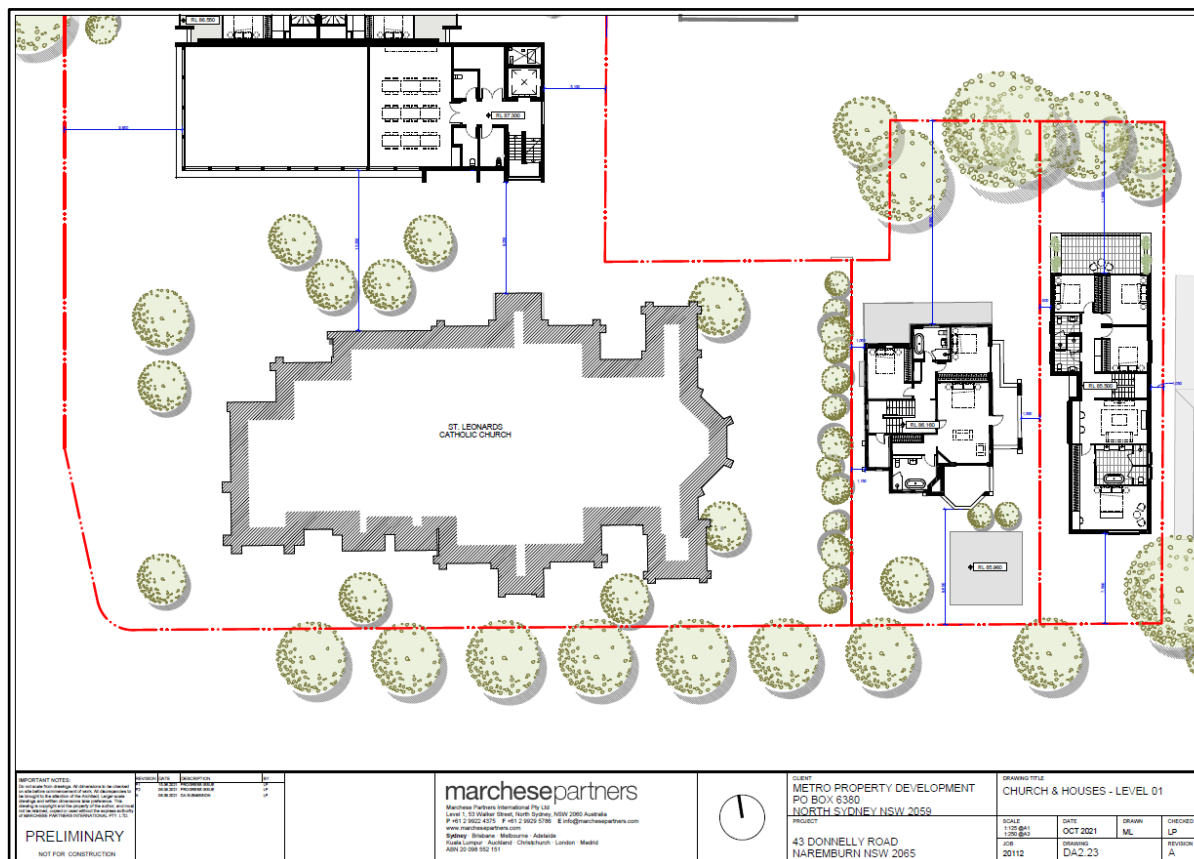
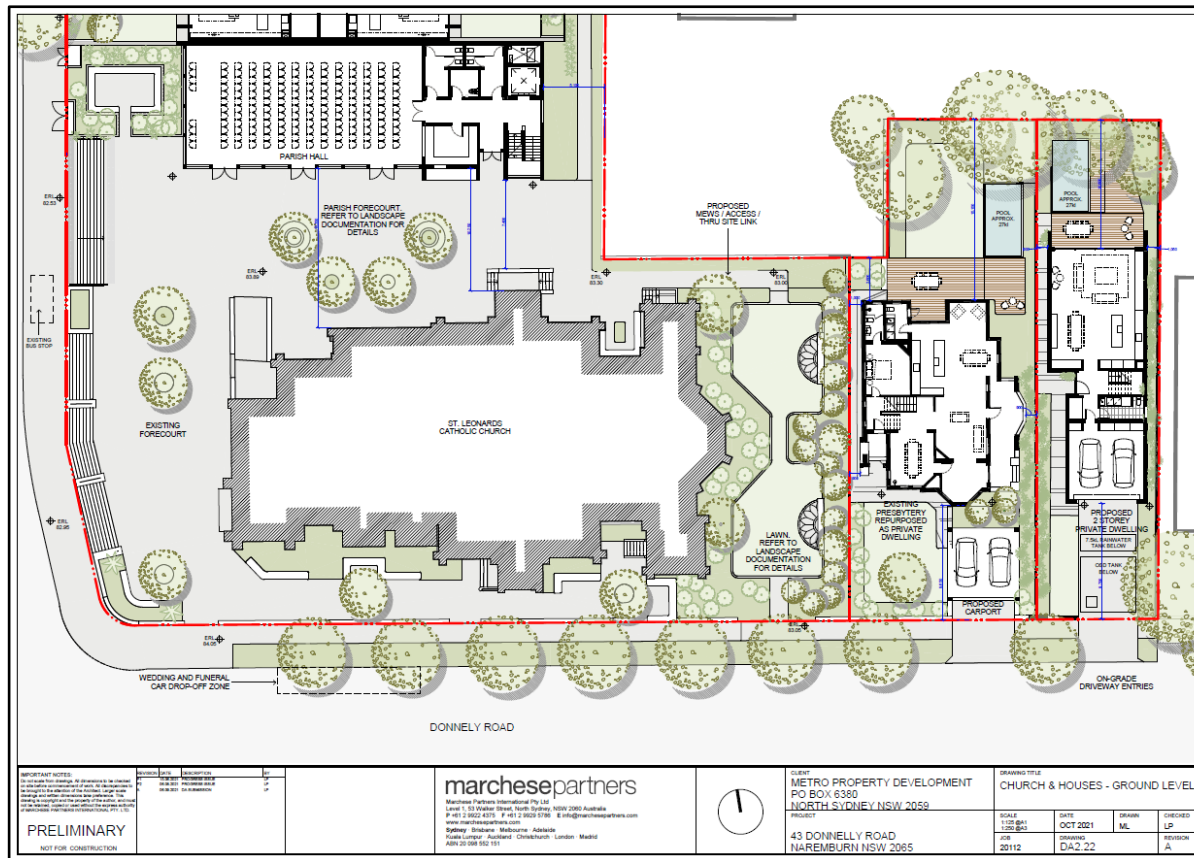


Figure 58. Proposed site plan.









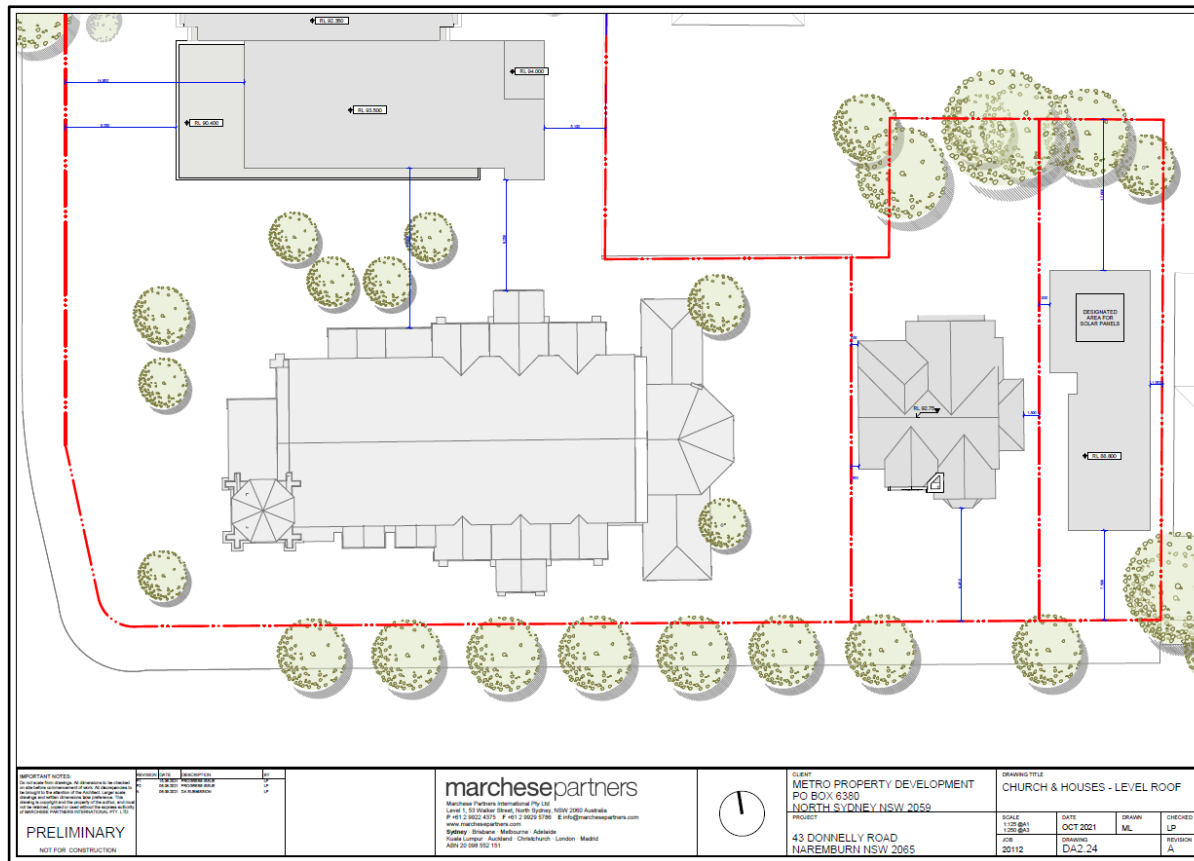


Figure 71. Proposed roof plan of the church, existing presbytery and the new dwelling.

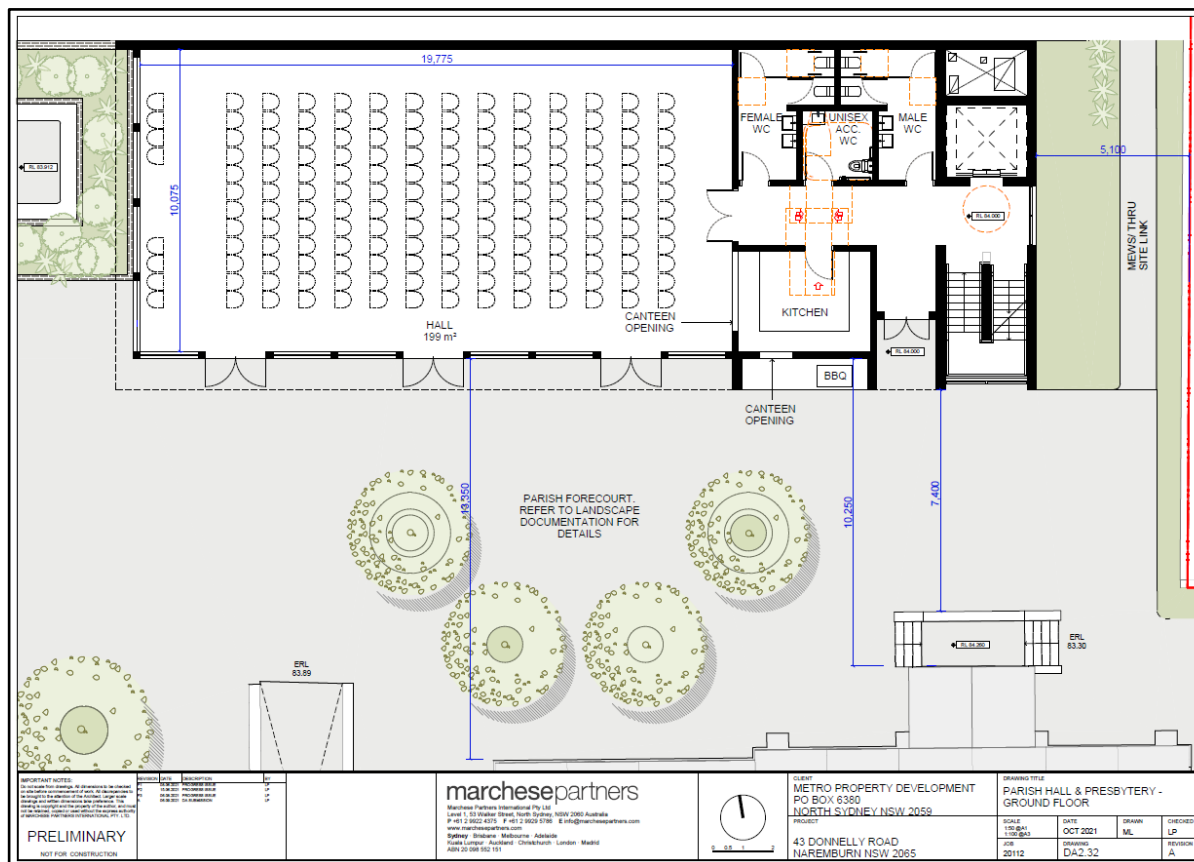


Figure 72. Proposed ground floor plan of the new parish hall and presbytery.

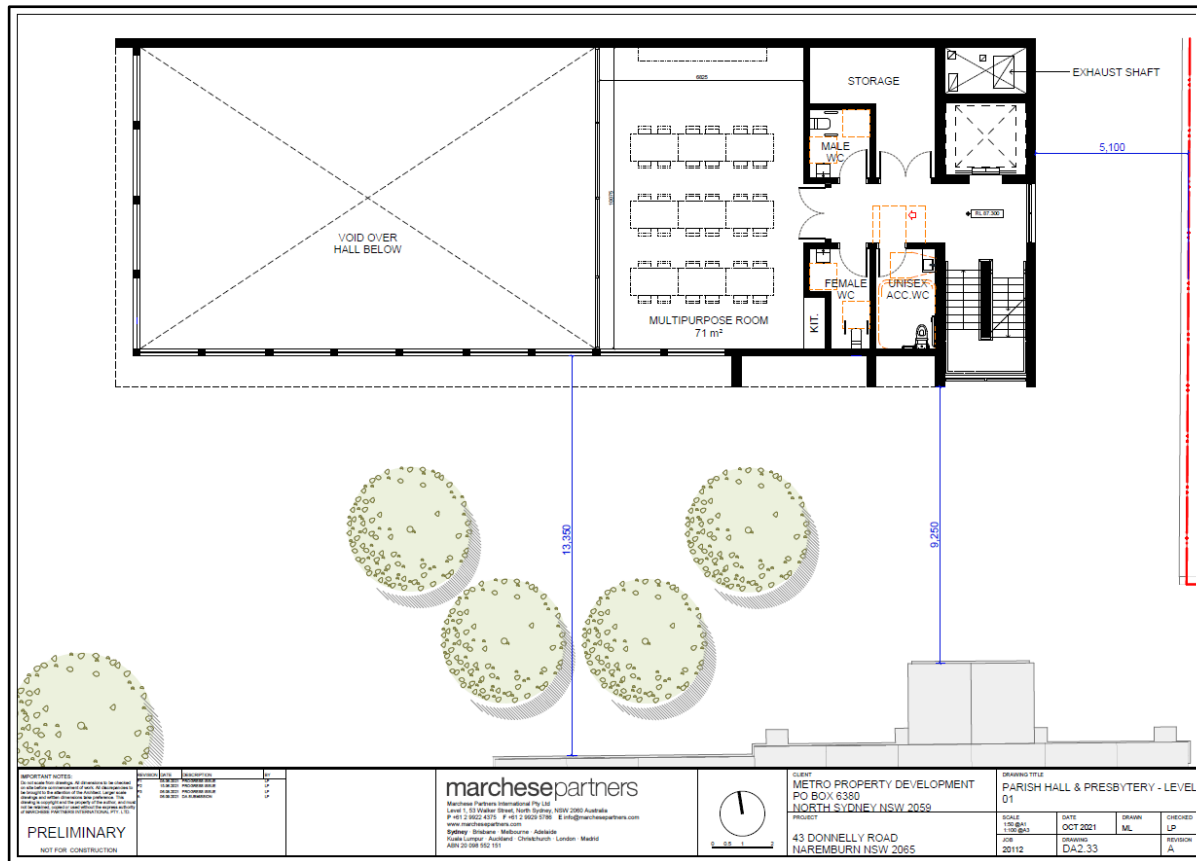


Figure 73. Proposed Level 01 plan of the new parish hall and presbytery.

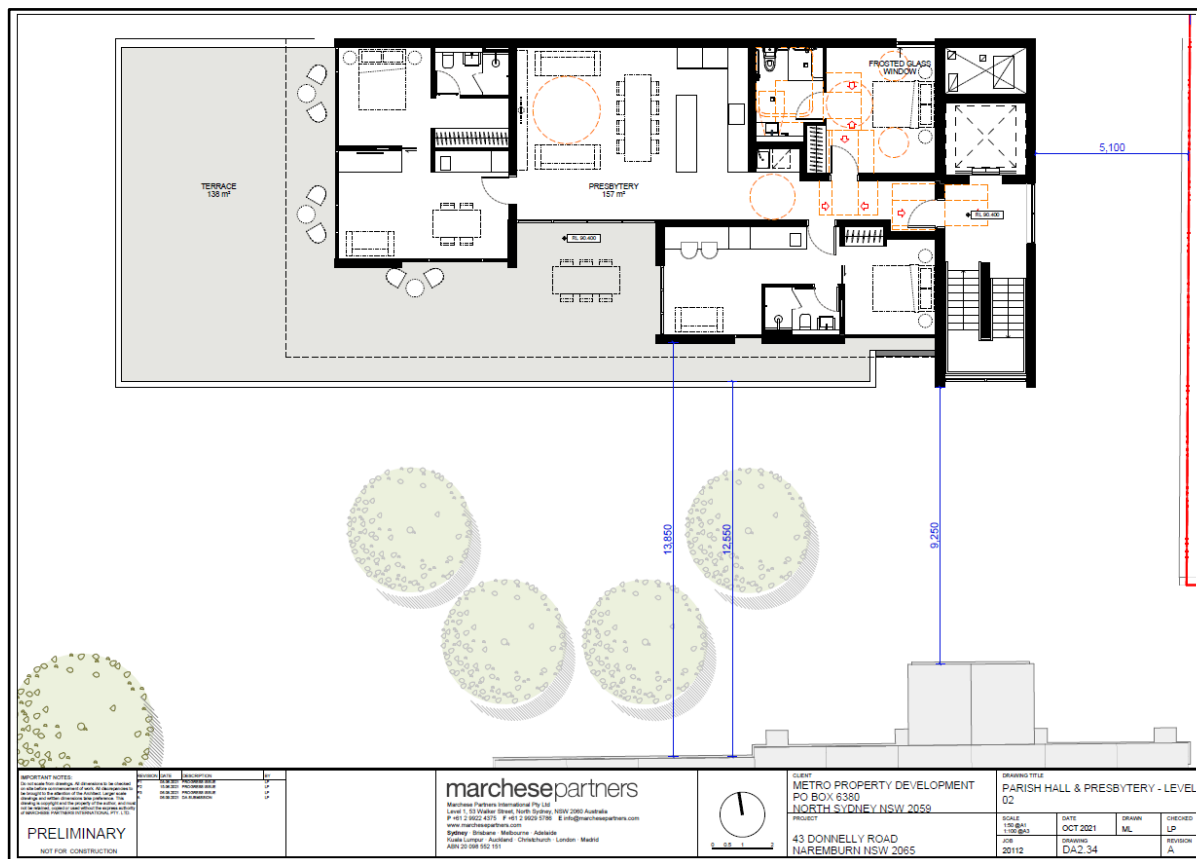


Figure 74. Proposed Level 02 plan of the new parish hall and presbytery.

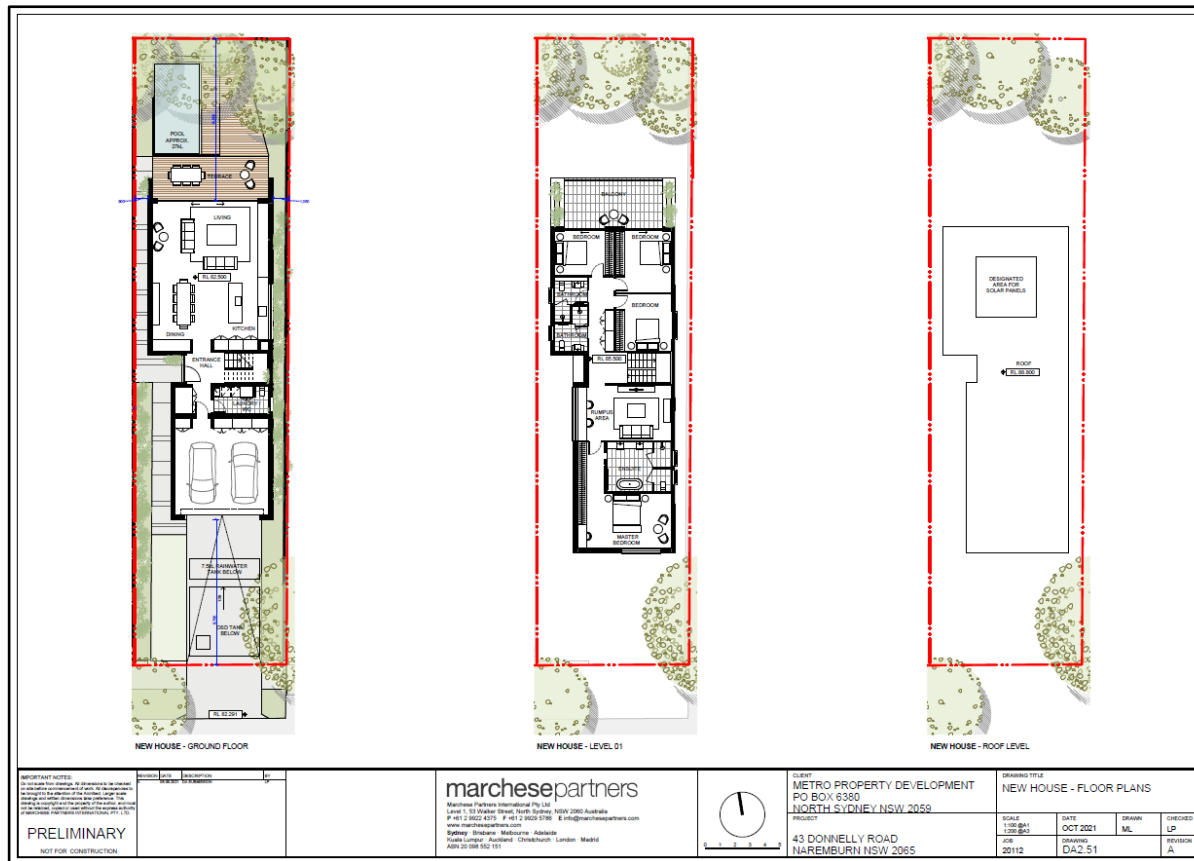


Figure 75. Proposed floor plans of the new dwelling next to the existing presbytery.

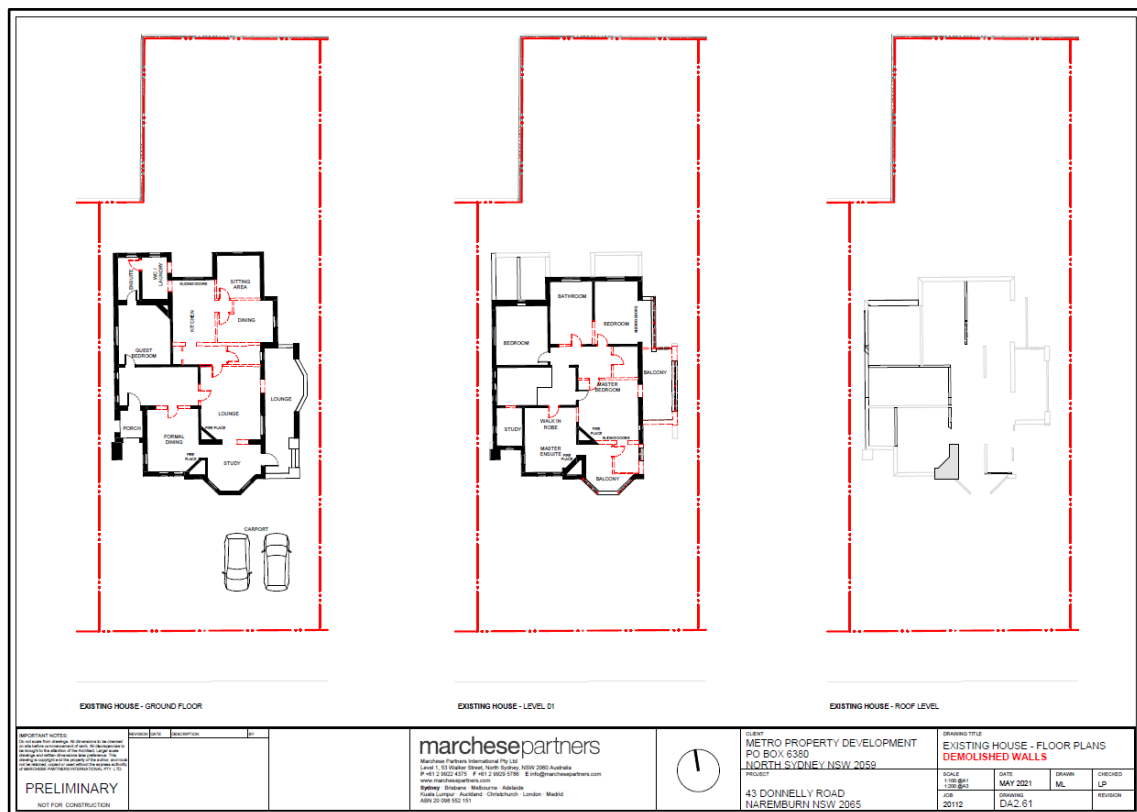


Figure 76. Demolition plans showing the internal changes to the existing presbytery.

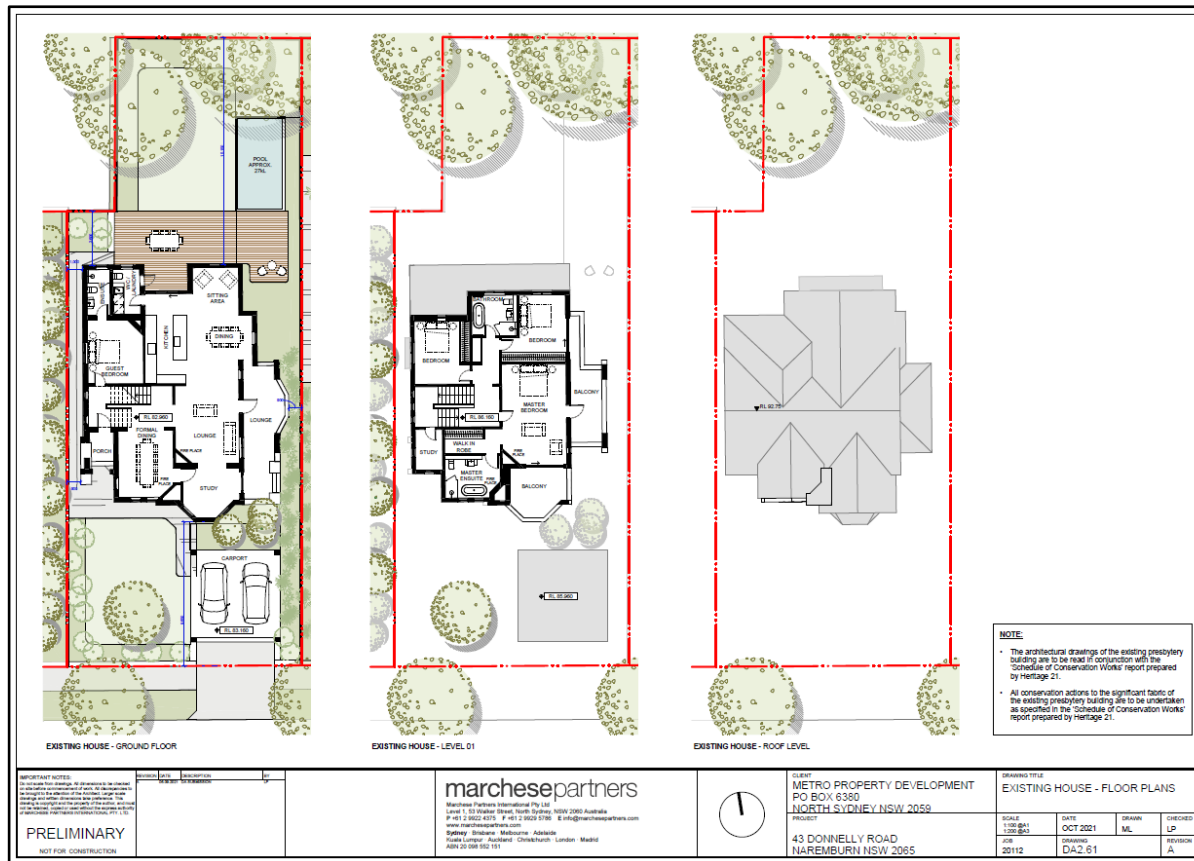
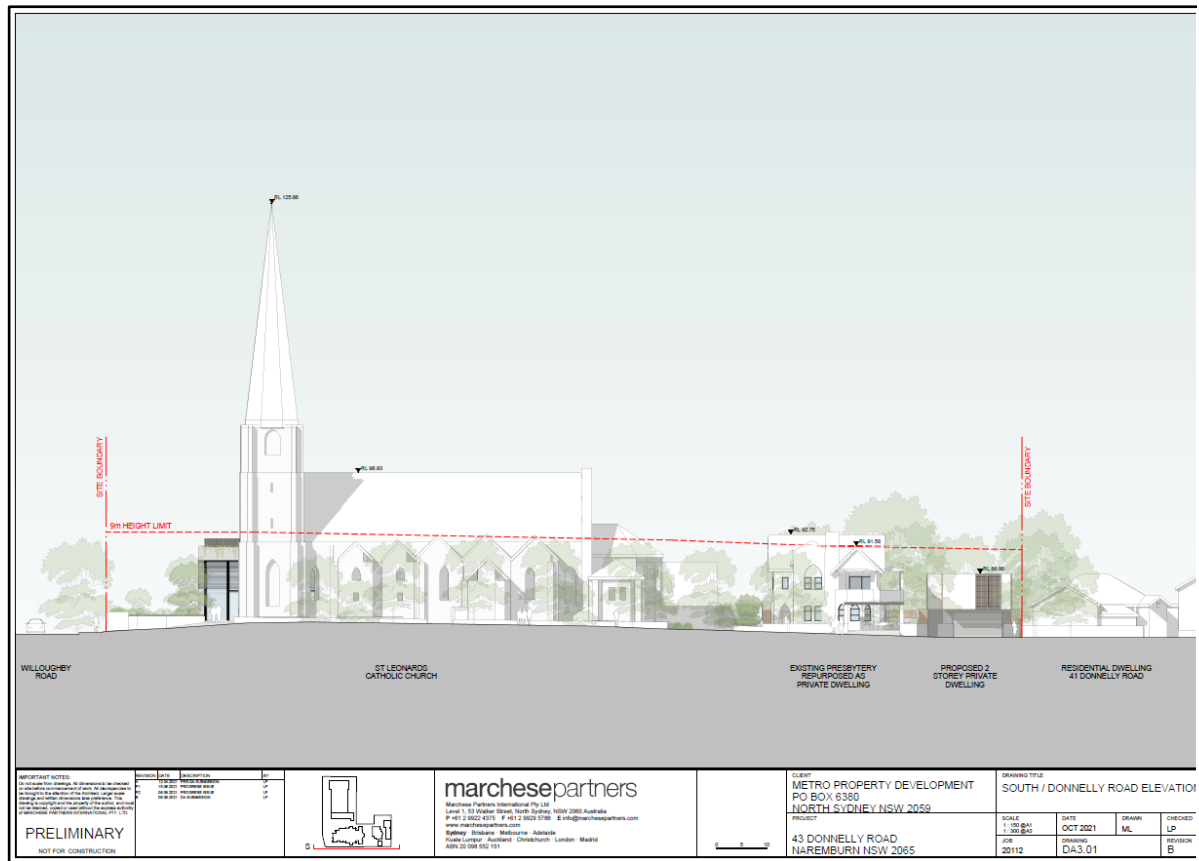
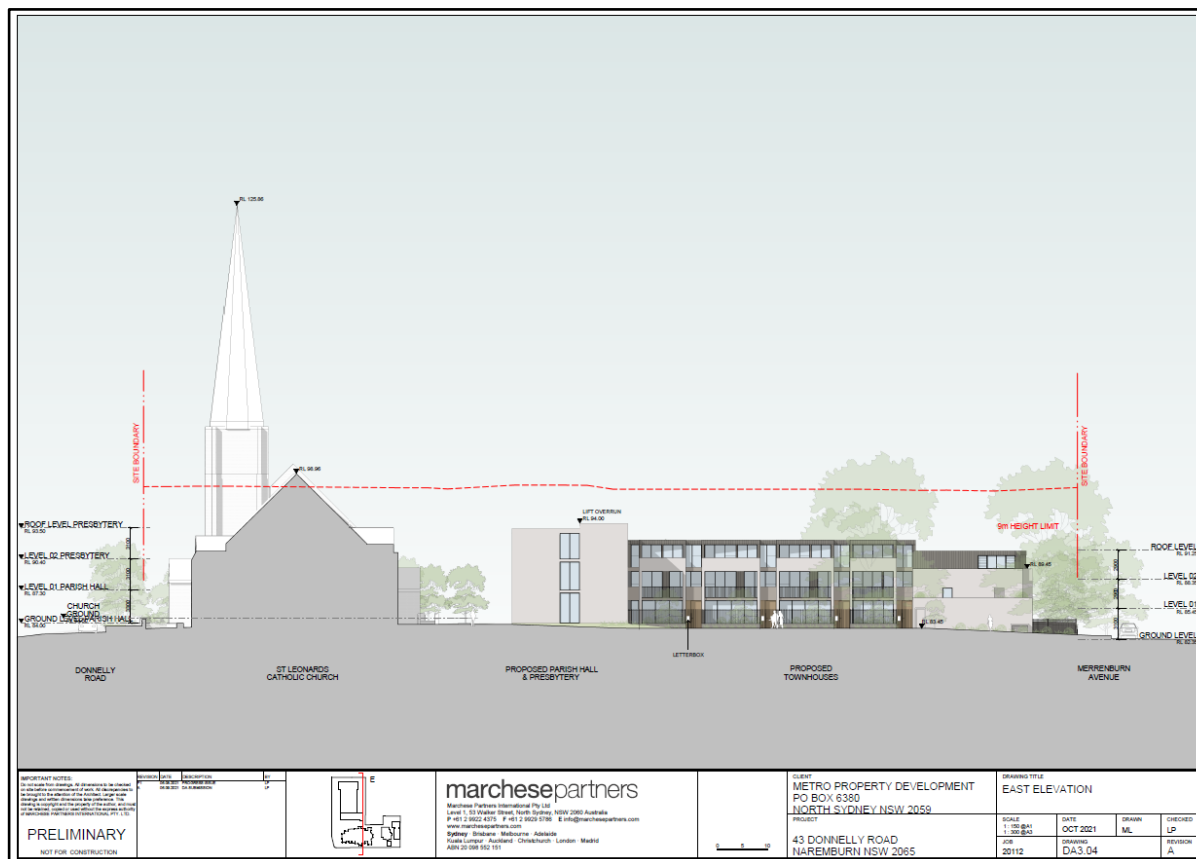
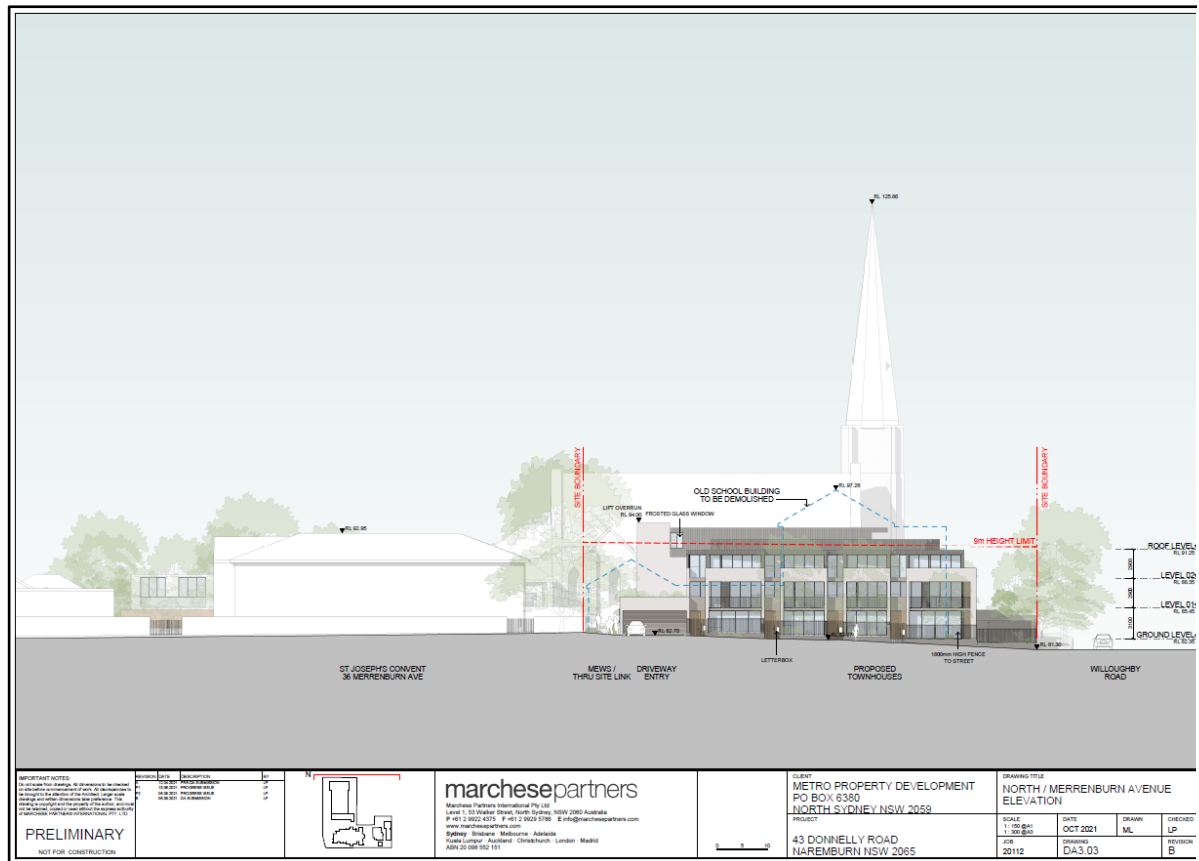


Figure 77. Proposed floor plans of the existing presbytery.



Figure 78. Proposed façade changes to the existing presbytery.





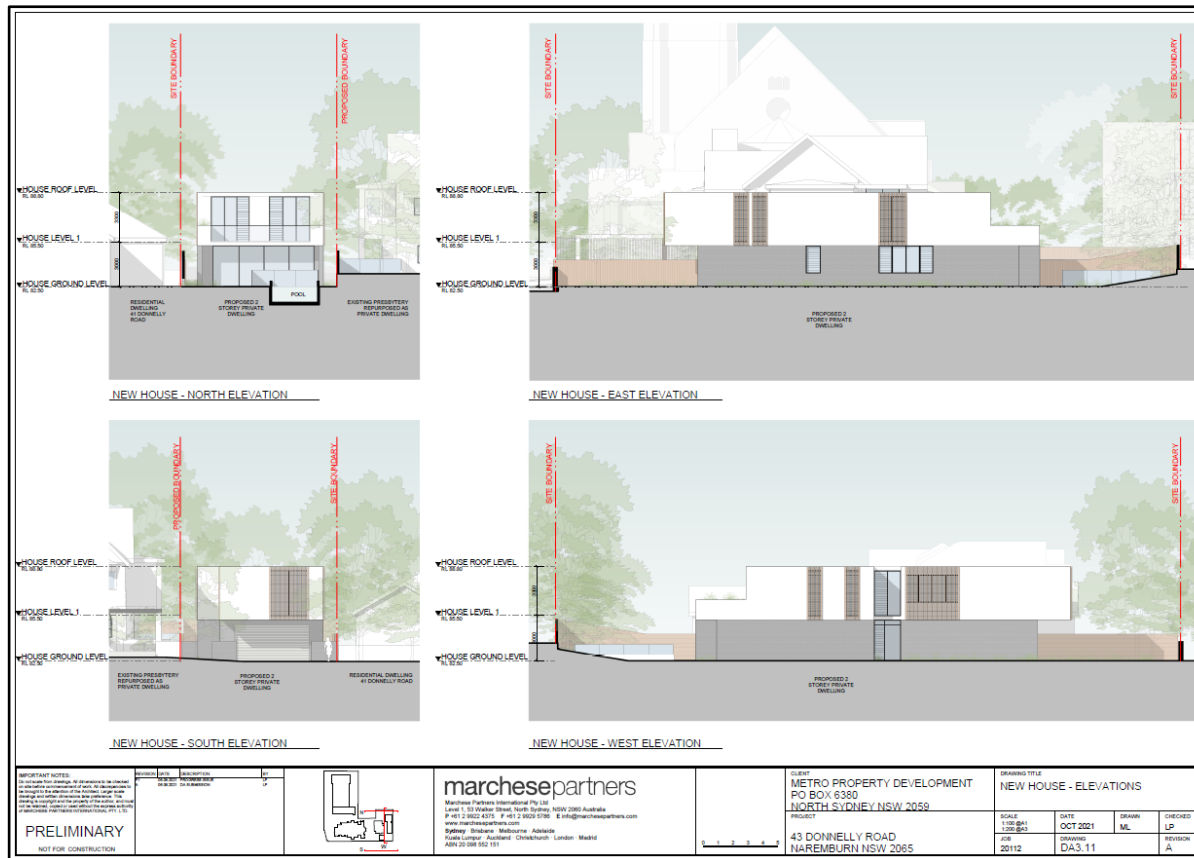


Figure 83. Proposed elevation of the new dwelling next to the existing presbytery.

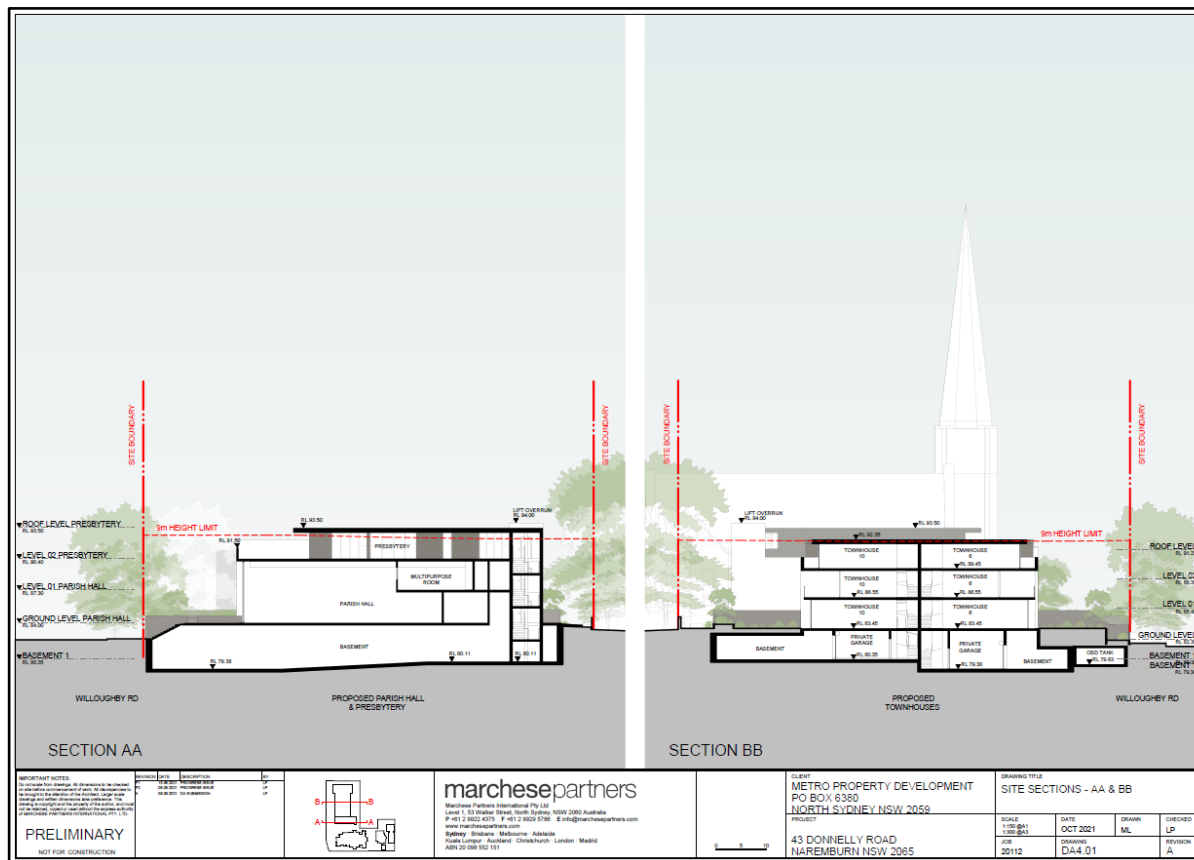


Figure 84. Proposed site section AA and BB.

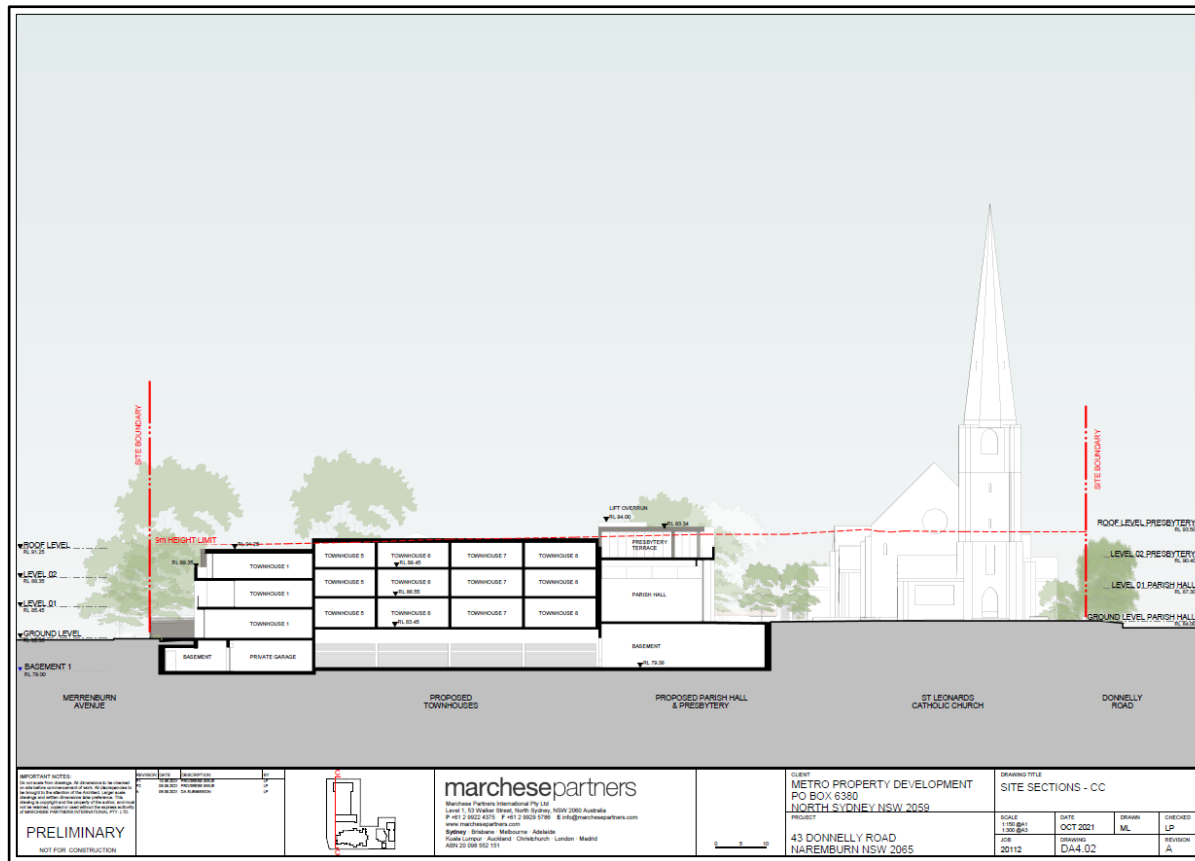


Figure 85. Proposed site section CC.

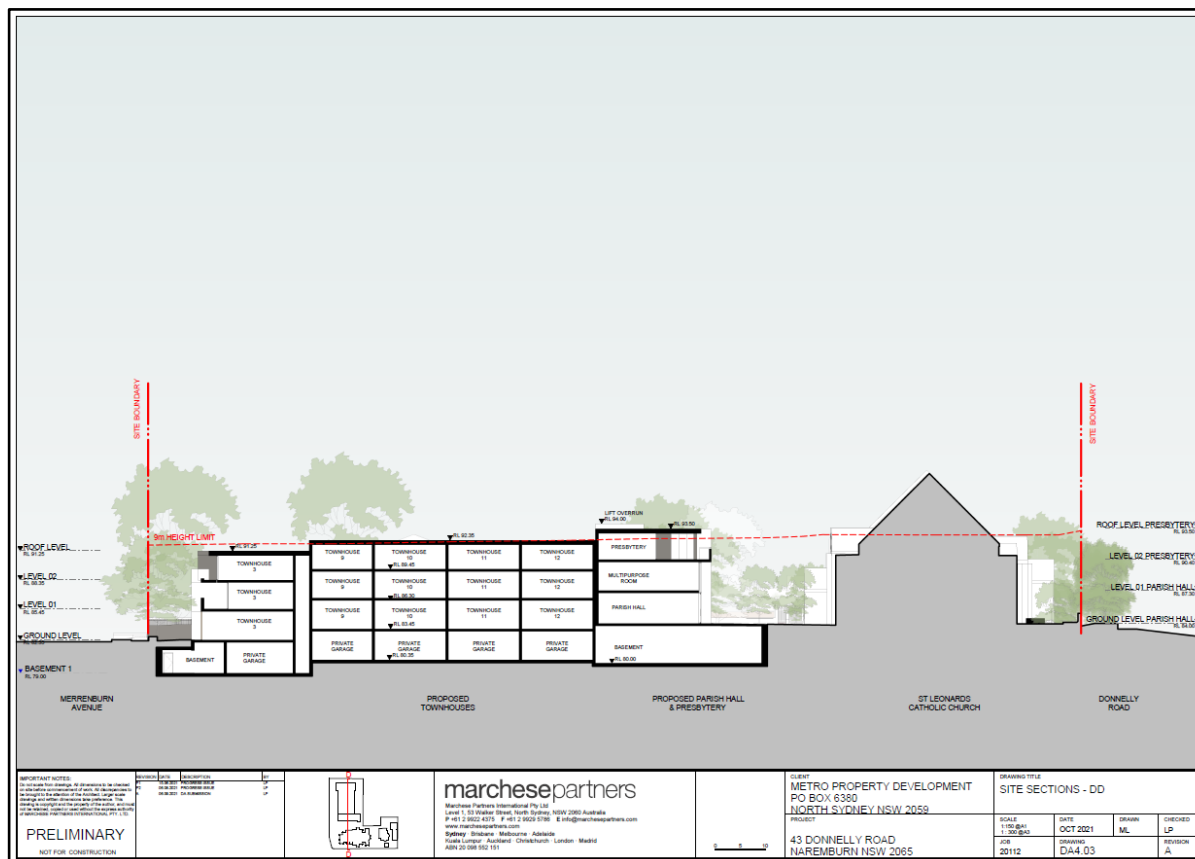


Figure 86. Proposed site section DD.

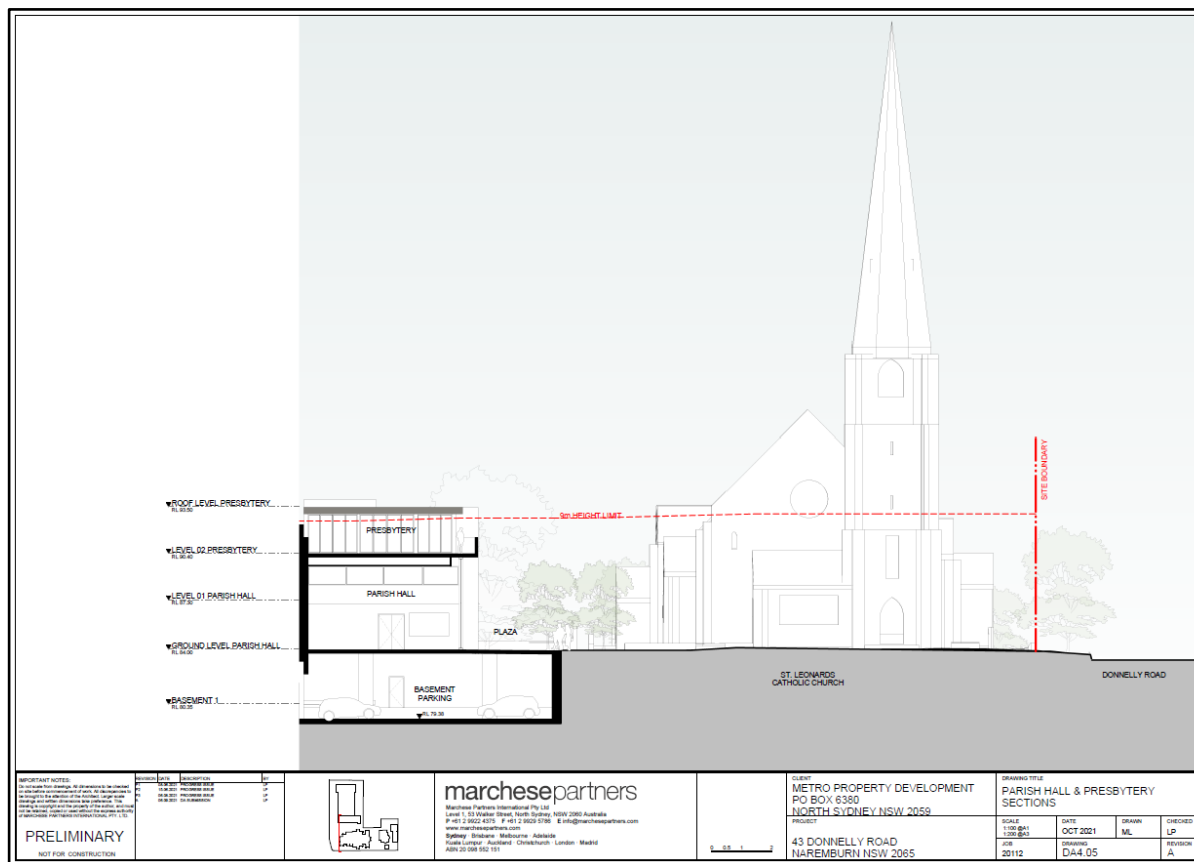
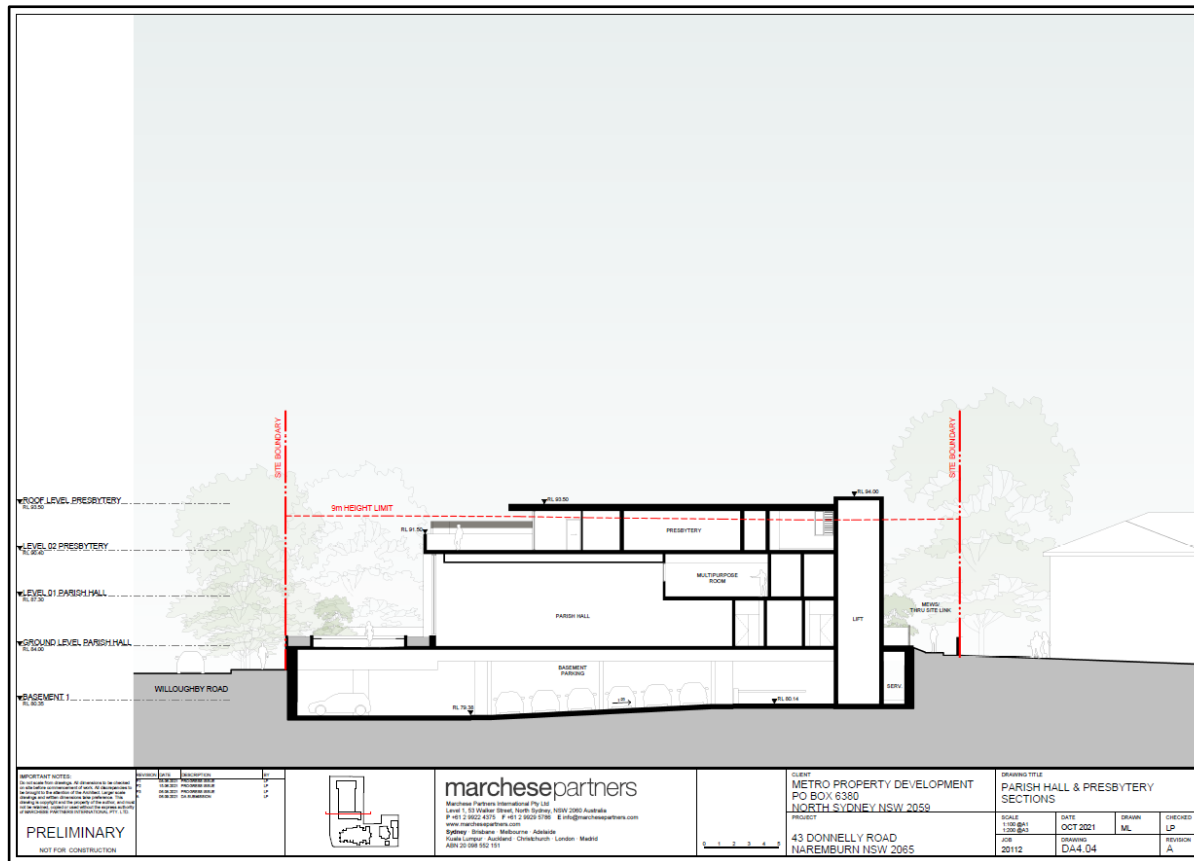




Figure 89. Proposed schedule of materials and finishes – townhouses and new parish hall.

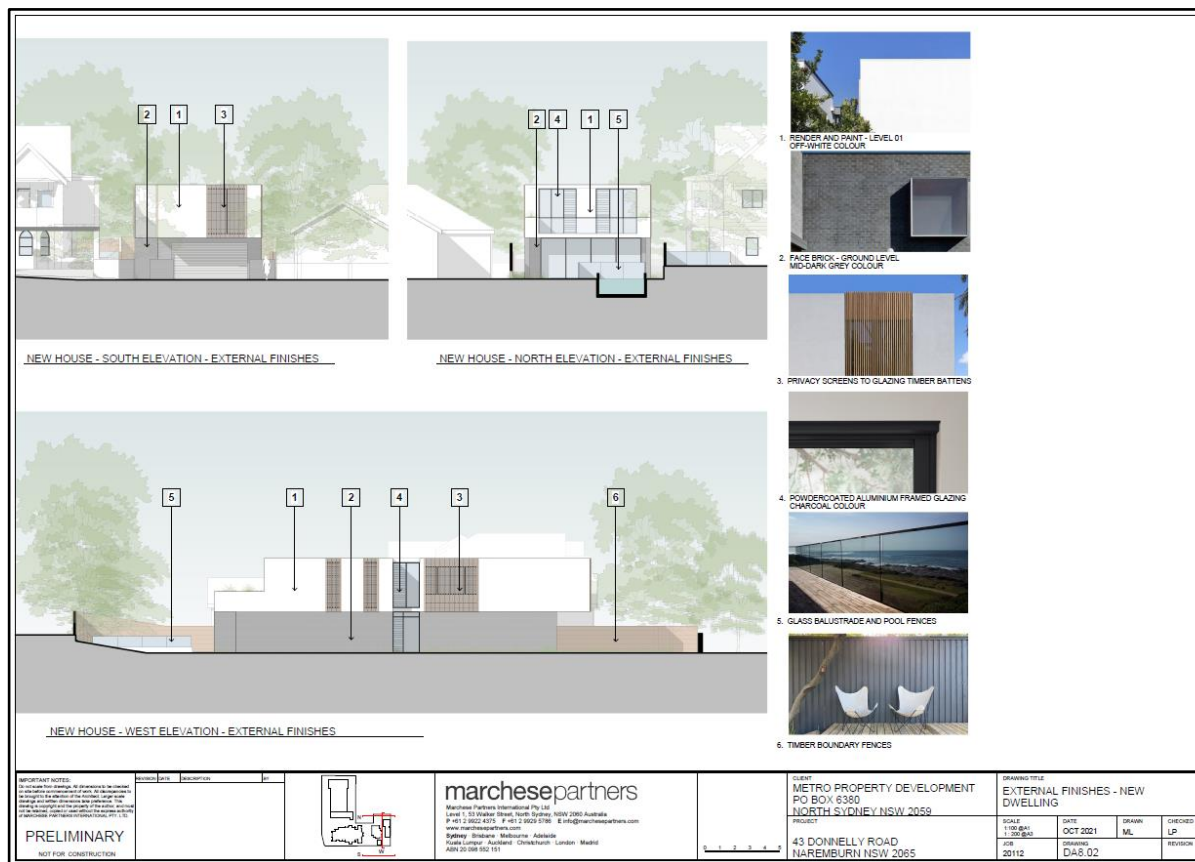


Figure 90. Proposed schedule of materials and finishes – new dwelling.



Figure 93. Proposed photomontage view along Willoughby Road.



Figure 94. Proposed photomontage view of the new parish hall next to St Leonard's Catholic Church.



Figure 95. Proposed photomontage view along Donnelly Road showing the existing presbytery and the new dwelling.

The following drawings of the proposed landscape works have been prepared by Arcadia dated 16 September 2021 and received by Heritage 21 on 20 September 2021, these are reproduced below for reference only; the full set of drawings accompanying the development application should be referred to for any details.

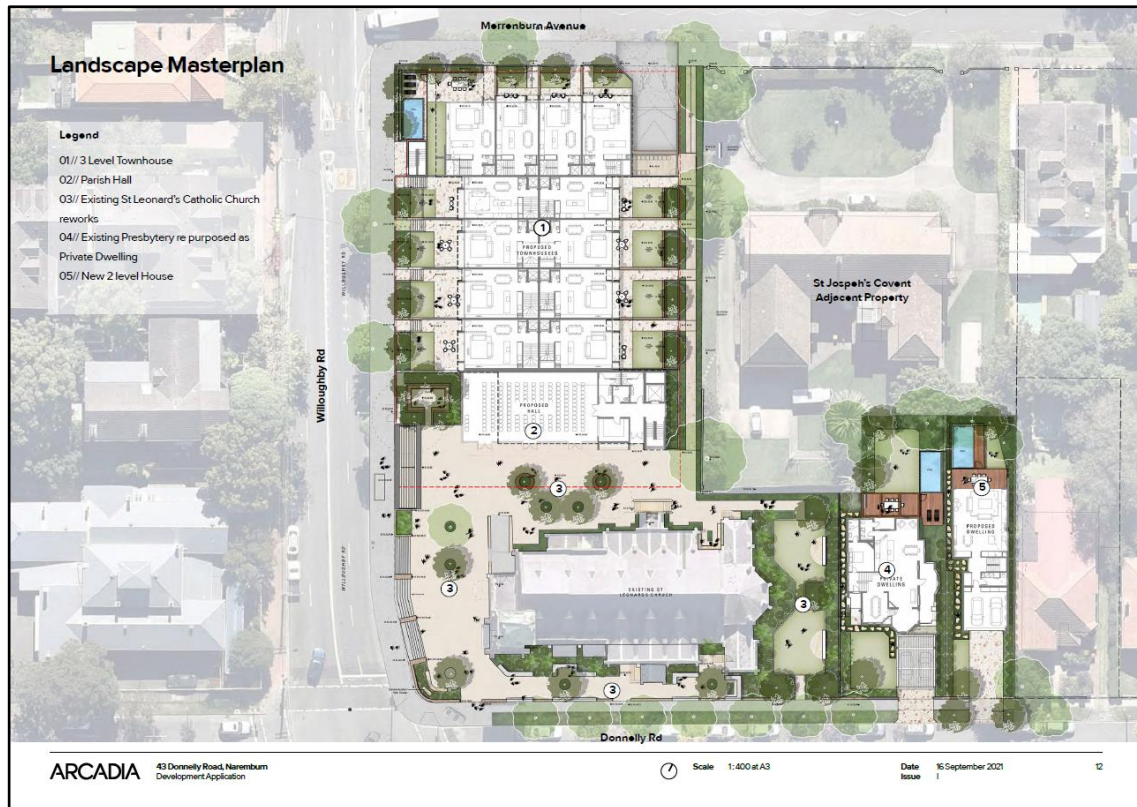


Figure 96. Proposed landscape masterplan.

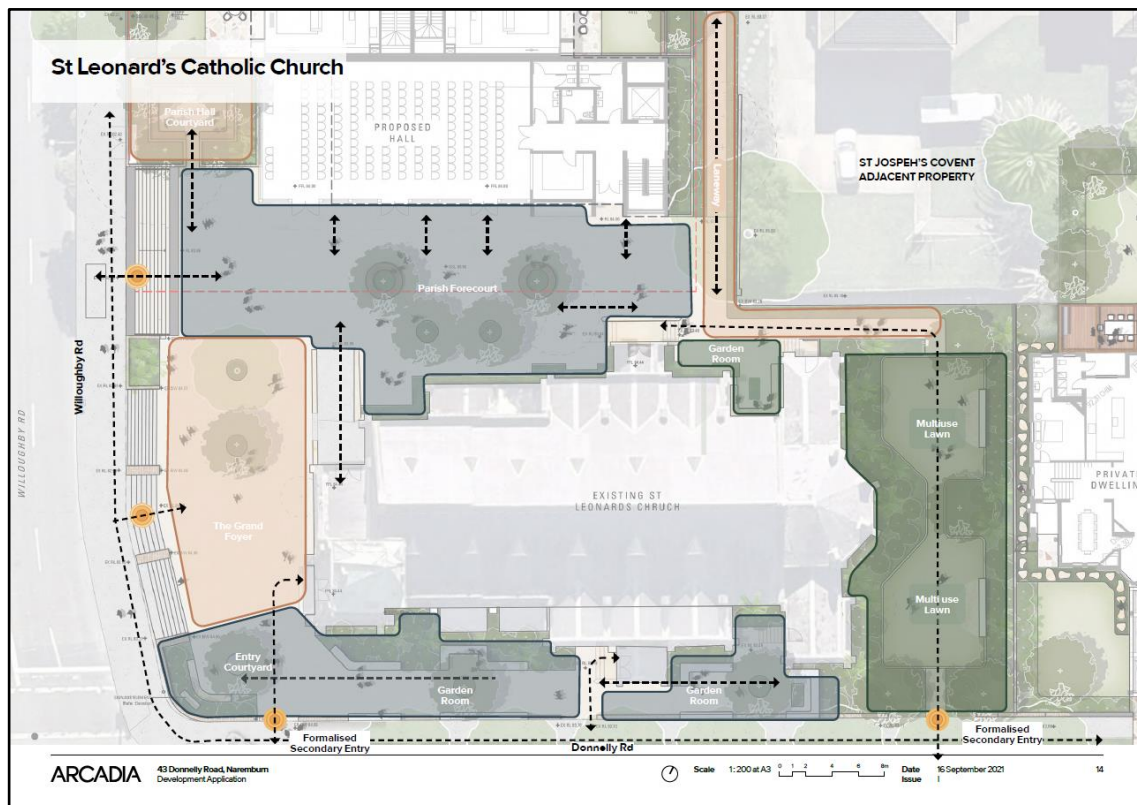


Figure 97. Proposed landscape setting around St Leonard's Catholic Church.

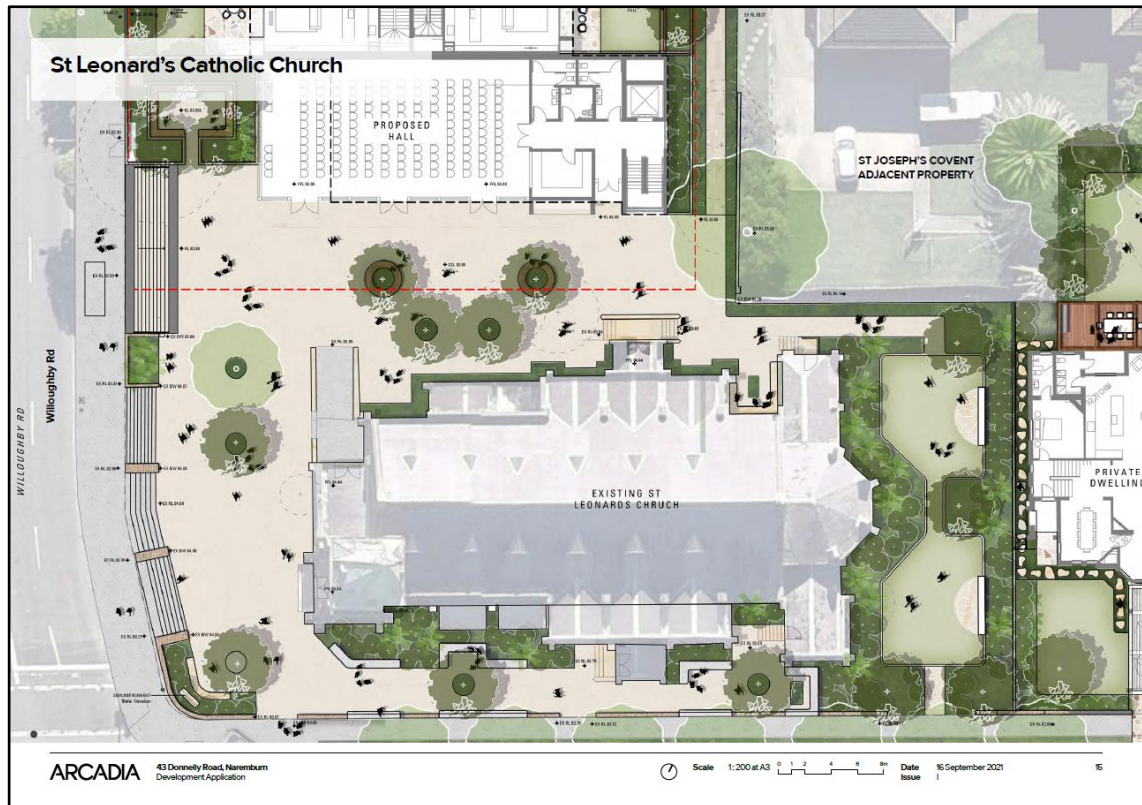


Figure 98. Proposed landscape details around St Leonard's Catholic Church.



Figure 99. Proposed landscape details of the entry and the courtyard from Willoughby Road.

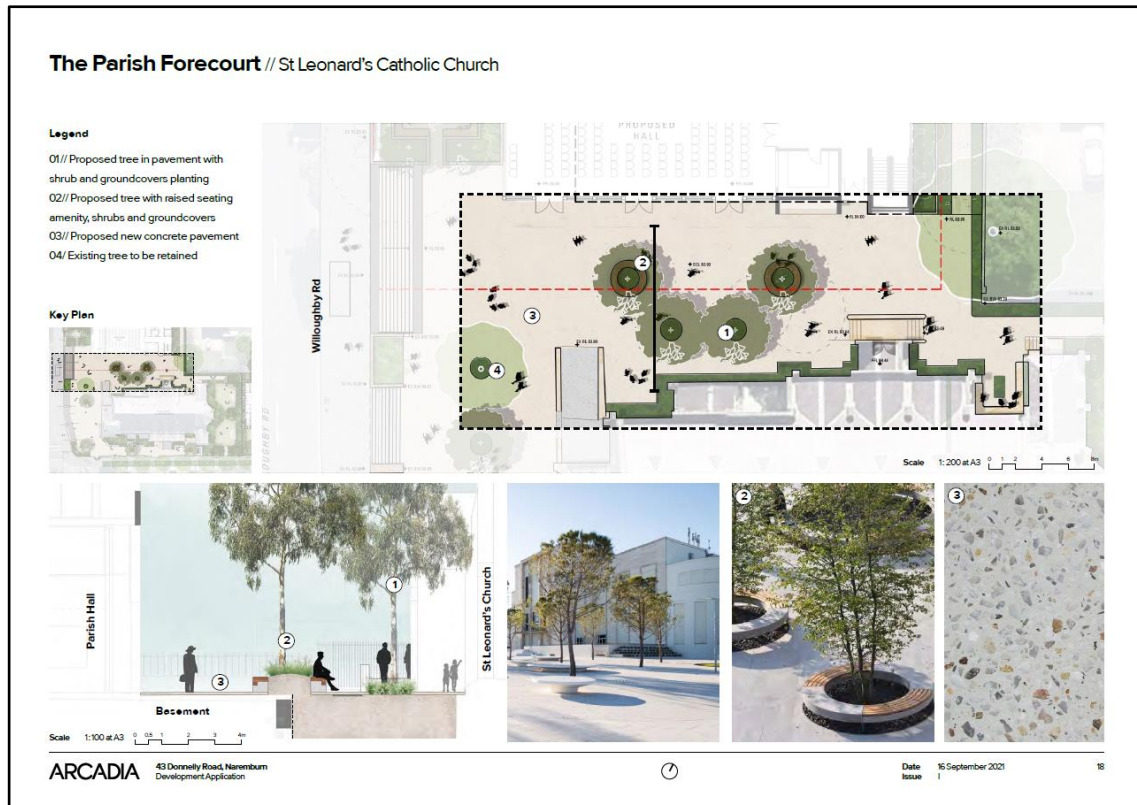


Figure 100. Proposed details and finishes of the proposed forecourt in between St Leonard's Catholic Church and new Parish hall.



Figure 101. Proposed landscape details along Donnelly Road.

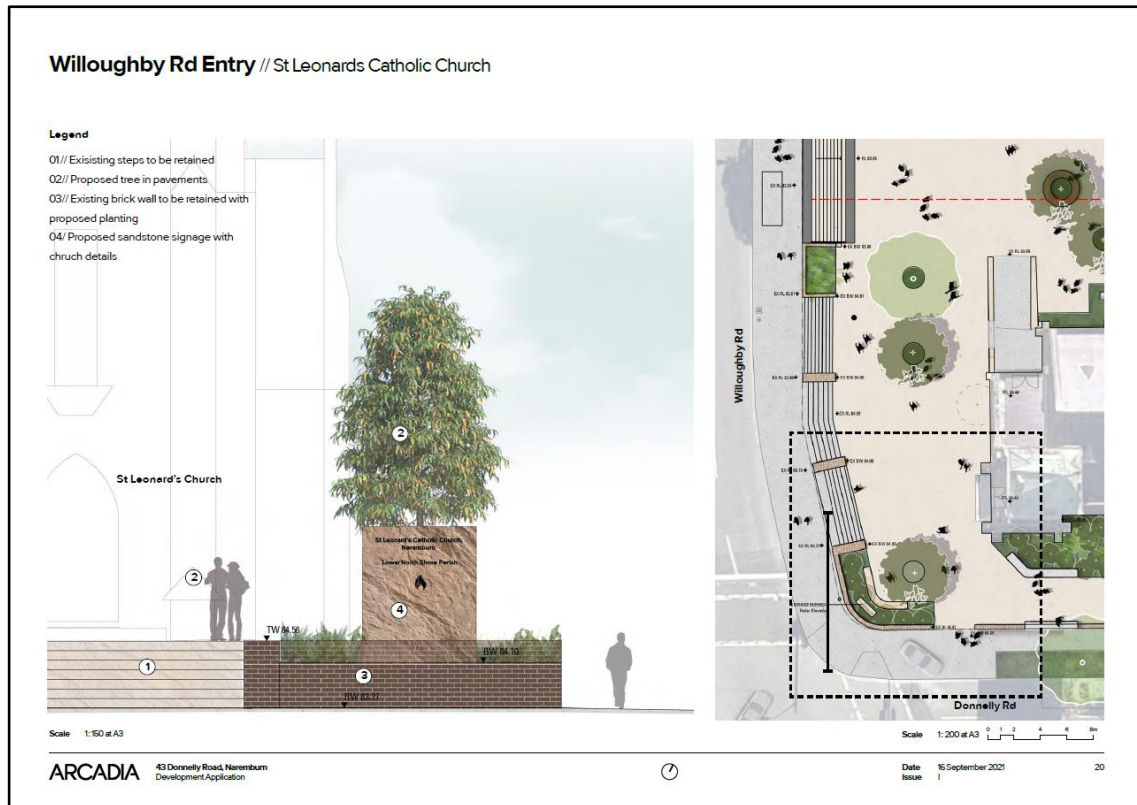


Figure 102. Proposed landscape details along Willoughby Road.



Figure 103. Proposed landscape details of the proposed lawn between St Leonard's Catholic Church and the existing Presbytery.

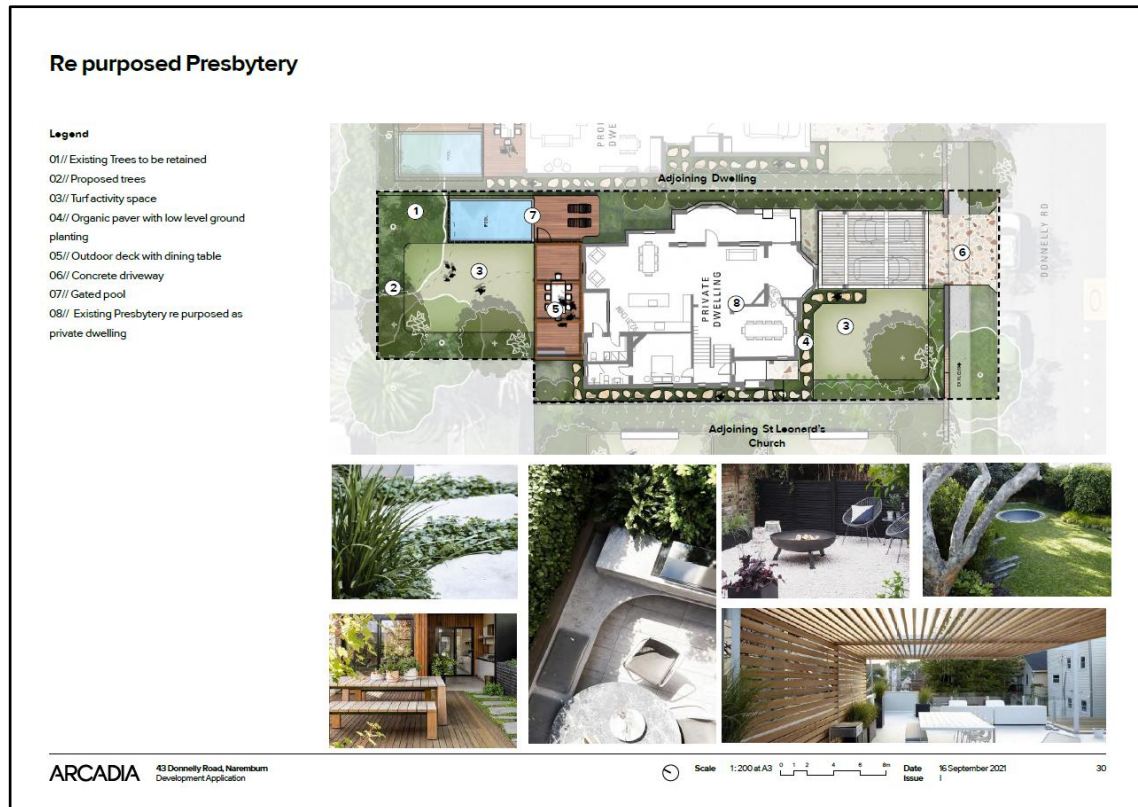


Figure 104. Proposed landscape detailing around the existing Presbytery.

6.0 ASSESSMENT OF HERITAGE IMPACT

6.1 Heritage Management Framework

Below we outline the heritage-related statutory and non-statutory constraints applicable to the subject site including the objectives, controls and considerations which are relevant to the proposed development as described in Section 5.0 above. These constraints and requirements form the basis of this Heritage Impact Assessment.

6.1.1 Willoughby Local Environmental Plan 2012

The statutory heritage conservation requirements contained in Section 5.10 of the WLEP 2012 are pertinent to any heritage impact assessment for future development on the subject site. The relevant clauses for the site and proposal are outlined below:

- (1) Objectives*
- (2) Requirement for consent*
- (4) Effect of proposed development on heritage significance*
- (5) Heritage assessment*
- (10) Conservation incentives*

6.1.2 Willoughby Development Control Plan 2006

Our assessment of heritage impact also considers the heritage-related sections of the WDCP 2006 that are pertinent to the subject site and proposed development. These include:

Part H – Heritage Items and Conservation Areas

6.1.3 NSW Office of Environment & Heritage guidelines

In its guidelines for the preparation of Statements of Heritage Impact, the NSW Office of Environment & Heritage provides a list of considerations in the form of questions aiming at directing and triggering heritage impact assessments. These are divided in sections to match the different types of proposal that may occur on a heritage item, item in a heritage conservation area or in the vicinity of heritage. Below are listed the considerations which are most relevant to the proposed development as outlined in Section 5.0 of this report.

Demolition of a building or structure

- *Have all options for retention and adaptive re-use been explored?*
- *Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?*
- *Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?*

- *Has the advice of a heritage consultant been sought? Have the consultant's recommendations been implemented? If not, why not?*

Minor partial demolition (including internal elements)

- *Is the demolition essential for the heritage item to function?*
- *Are important features of the item affected by the demolition (e.g. fireplaces in buildings)?*
- *Is the resolution to partially demolish sympathetic to the heritage significance of the item?*
- *If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?*

Minor additions (see also minor partial demolition)

- *How is the impact of the addition on the heritage significance of the item to be minimised?*
- *Can the additional area be located within an existing structure? If no, why not?*
- *Will the additions visually dominate the heritage item?*
- *Is the addition sited on any known, or potentially significant archaeological deposits? If so, have alternative positions for the additions been considered?*
- *Are the additions sympathetic to the heritage item? In what way (e.g. form, proportions, design)?*

New development adjacent to a heritage item (including additional buildings and dual occupancies)

- *How is the impact of the new development on the heritage significance of the item or area to be minimised?*
- *Why is the new development required to be adjacent to a heritage item?*
- *How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?*
- *How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?*
- *Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?*
- *Is the new development sympathetic to the heritage item? In what way (e.g. form, siting, proportions, design)?*
- *Will the additions visually dominate the heritage item? How has this been minimised?*

- *Will the public, and users of the item, still be able to view and appreciate its significance?*

Subdivision

- *How is the proposed curtilage allowed around the heritage item appropriate?*
- *Could future development that results from this subdivision compromise the significance of the heritage item? How has this been minimised?*
- *Could future development that results from this subdivision affect views to, and from, the heritage item? How are negative impacts to be minimised?*

New landscape works and features (including carparks and fences)

- *How has the impact of the new work on the heritage significance of the existing landscape been minimised?*
- *Has evidence (archival and physical) of previous landscape work been investigated? Are previous works being reinstated?*
- *Has the advice of a consultant skilled in the conservation of heritage landscapes been sought? If so, have their recommendations been implemented?*
- *Are any known or potential archaeological deposits affected by the landscape works? If so, what alternatives have been considered?*
- *How does the work impact on views to, and from, adjacent heritage items?*

6.1.4 Other Heritage Considerations

- The historical use of the site would be maintained and if not, if the proposed new use would be suitable to the heritage significance;
- The historical setbacks and boundaries of the site would be retained as existing; and
- Any significant views to and from significant buildings or elements, or across significant areas would be impacted.

6.2 Heritage Impact Assessment

Below we assess the impact that the proposed development would have upon the subject site, and the heritage items. This assessment is based upon the Historical Context (refer to Section 2.0), the Physical Evidence (refer to Section 3.0), Heritage Significance (refer to Section 4.0) the Proposal (refer to Section 5.0), a review of the Heritage Management Framework (refer to Section 6.1) and the impact of the proposal on the relevant heritage items situated in the vicinity of the site (refer to Sections 1.3 and 3.4).

6.2.1 Summary

The subject site consisting of the St Leonard's Catholic Church is a heritage listed item under the Schedule 5 of Willoughby LEP 2012. The proposal is a Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore Catholic Parish comprising St Leonard's Catholic Church and Metro Property Development. The proposal includes the demolition of the St Leonard's school buildings and its associated extension and a garage next to the existing presbytery along Donnelly Road. The proposal would include the construction of a new parish hall, presbytery and 12 town houses to the north of the existing church in place of the school buildings proposed to be demolished. The proposal also includes alterations and additions to the existing presbytery to refurbish it as a private dwelling and construction of a new detached single dwelling to the east of the existing presbytery. The proposed form, scale, bulk and design of the proposal would, in Heritage 21's opinion, be respectful of the heritage significance of the St Leonard's Catholic Church.

The proposal would not include any major work to the heritage listed St Leonard's Catholic Church. The proposal development would involve conservation works to the heritage listed church building and the existing presbytery. The proposed conservation works would improve the existing condition of the buildings. The conservation works to the church include the repointing of the brick masonry walls, cleaning of the bricks impacted by the water seepage, investigation of the roof and conservation and repair works to the church roof would address the ongoing damage caused by the water seepage, rationalisation and repair of the existing copper rainwater goods, reinstatement of timber windows with lead light glazing in the nuns chapel, conservation of the existing leadlight windows in the church and the reinstatement of the putty of the lead light glazing, repair of the stairs located along the northern façade of the church leading to the nuns' chapel, introduction of a gap of 300-400mm between the concrete slab present along the basecourse of the walls of the church to address the rising damp problems noted in this building, flashing of windows especially at windowsills to prevent moisture ingress into the masonry and landscape upgrades to enhance the heritage significance of the surrounding grounds of the church. The proposal would also include the removal of intrusive alterations and additions of the presbytery including the enclosure of the balconies and the verandah. The proposed works would not only improve the condition of the existing building but would improve the presentation of the building within the public domain.

The development includes alterations and additions to the interiors of the presbytery which is not heritage listed by itself. The proposed changes include partial demolition of some internal walls on the ground floor. Some of the internal walls are not original and appear to be a later addition. Heritage 21 recommends that the proposed demolition of the walls should retain spandrels of the original walls ensuring that the original layout to the dwelling is still legible. The proposal includes removal of the intrusive infill panels of the balconies located on the first floor building. These lightweight infill panels are a later addition and are negatively impacting the presentation of the presbytery within the Donnelly Road streetscape. The removal of the enclosure of the balconies on the first floor and the reinstatement of the balustrades similar to the existing on site would improve the views to the subject building from the public domain. The proposal also includes the introduction of some new bathrooms within the interiors on the first floor of the presbytery. Heritage 21 has recommended the introduction of CFC sheeting to the floors, walls, and ceiling of the new introduced bathroom to ensure that the new bathrooms and associated services do not impact any significant fabric. The introduction of the CFC sheeting would ensure that the alterations are reversible at a later stage. As such, the proposal would help improve the external presentation of the presbytery and would limit the changes to its interiors in order to adapt it for the use of a private residence. The proposal also includes the introduction of a driveway and a carport in front of the presbytery, accessible from Donnelly Road. The carport would of a simple design ensuring that views to and from the site are retained. The driveway would follow the pattern observed in the street where multiple driveways are present serving the residences along the street. As such, the proposed development would not negatively impact the heritage significance of presbytery. The removal of the unsympathetic later additions verandahs and the first floor balconies would improve and conserve the heritage values of the presbytery although it is not, by itself, heritage listed.

The proposed form of the new building to the north of the church would, in Heritage 21's opinion, be highly contemporary, in contrast with the existing church building. In addition, the contemporary form would be sympathetic to the surrounding structures in the immediate vicinity of the site. We note that Article 22.2 of the Burra Charter details "new work should be readily identifiable as such but must respect and have minimal impact on the cultural significance of the place." The proposed materials and finishes to the new development, whilst contemporary, would ensure the introduction of high-quality materials that would not require ongoing maintenance. The proposed materials and finishes would also articulate the contemporary nature of the new development, particularly as they would not replicate the materiality of the original heritage listed building. In addition, the proposed materials and finishes would be effective in creating a design that would not dominate the existing surrounding built forms. The recessive and clearly identifiable contemporary buildings would blend into the surrounding streetscape and would minimise the impact of the proposed development, allowing the heritage item to stand out. The proposed additions would also incorporate a sympathetic colour scheme which would minimise the visual impact of the works, ensure the retention of the heritage significance of the church building and allow the heritage item to remain visually prominent.

The new works would also be setback about 7.4m from the northern façade of the church, to ensure that they are easily identifiable as a later addition rather than a continuation of the original building.

Heritage 21 has been actively involved in the design process to ensure that the use of contemporary materials would maintain and protect the heritage significance of the site and would not generate any negative heritage impacts upon the significance of the building. The proposal would also retain the open setting of the setting of the subject site. The proposal would include upgradation works to the existing landscape setting of the subjects. This would enhance the presentation of the subject site with the surrounding locality and ensure that the new works sit comfortably in the existing context without being visually dominant or overly prominent. These measures would ensure that the visual curtilage of the original dwelling and the heritage items in the vicinity is also respected. The proposed upgradation to the landscape would also enhance the interaction of the public with the subject site.

The proposal also seeks to subdivide the existing allotment into three separate lots containing the church and the town house development, the existing presbytery, and the proposed single detached dwelling respectively. The proposed subdivision would aid in generating funds for the conservation of the church and the presbytery building. As such the adaption of the presbytery as a residential dwelling and the construction of the new single detached dwelling would bring about positive conservation outcomes ensuring that the heritage is retained and conserved at the subject site.

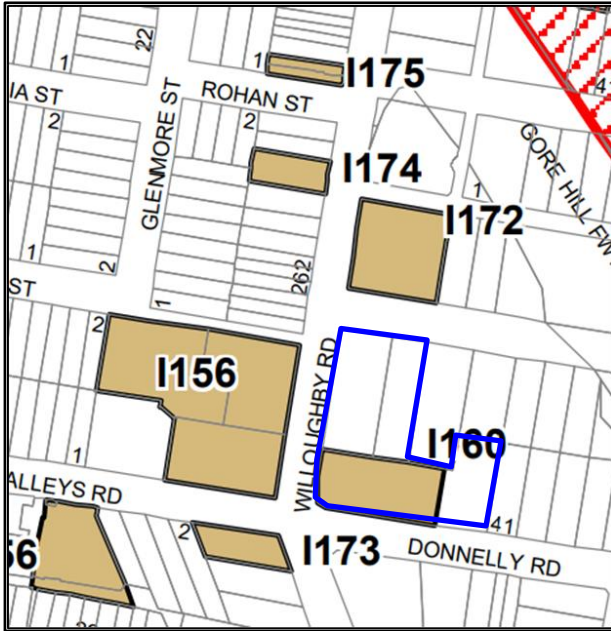
6.2.2 Impact Assessment against the WLEP 2012

The statutory heritage conservation requirements contained in Section 5.10 of the Willoughby LEP 2012 are pertinent to any heritage impact assessment for future development on the subject site containing the heritage listed St Leonard's Catholic Church. We assess the proposal against the relevant clauses below.

CLAUSE	ASSESSMENT
(1) Objectives	The St Leonard's Catholic Church located on the subject site is a heritage listed item under Schedule 5 of the Willoughby LEP 2012. It is our general assessment that the proposed demolition of the St Leonard's Catholic School building and the proposed new development including the construction of new parish hall, presbytery, single dwelling and 12 town houses in terms of the proposed height, scale, massing, and materials (as detailed in Section 5.0 above) would not engender a negative impact on the heritage significance of the St Leonard's Catholic Church as well as the heritage items located in the vicinity of the site. The proposed works would also facilitate and contribute to the conservation of the heritage significance of the heritage item, including its associated fabric, settings, and views.
(2) Requirement for consent	This Development Application is lodged to Willoughby City Council to gain consent for the works proposed at the subject site containing the St Leonard's Catholic Church which is a heritage listed item and is also located in the vicinity of heritage items, all of which are listed under Schedule 5 of the Willoughby LEP 2012.

(4) Effect of proposed development on heritage significance	This Statement of Heritage Impact accompanies the Development Application to enable Willoughby City Council, as the consent authority, to ascertain the extent to which the proposal would affect the heritage significance of the subject site consisting the heritage listed church and the heritage items located in the vicinity of the site.
(5) Heritage assessment	

6.2.3 Impact Assessment against the Clause 5.10(10) of the WLEP 2012

<p>(10) Conservation Incentives</p> <p><i>The consent authority may grant consent to development for any purpose of a building that is a heritage item or of the land on which such a building is erected, or for any purpose on an Aboriginal place of heritage significance, even though development for that purpose would otherwise not be allowed by this Plan, if the consent authority is satisfied that:</i></p>	<p>This application seeks to rely on the Conservation Incentives established by clause 5.10(10) of the WLEP 2012. It is noted that the subject site at 43 Donnelly Road, Naremburn contains the St Leonard's Catholic Church which is a heritage item listed under Schedule 5 of the WLEP 2012.</p> <p>Clause 5.10(10) of the WLEP 2012 states that consent may be granted by the consent authority to development for any purpose of a building that is a heritage item or of the land on which such a building is erected, even though the purpose would otherwise not be allowed under the WLEP 2012.</p>  <p>Figure 105. Detail from Heritage Map HER_005; the subject site is outlined in blue and heritage items, some of which are within the vicinity of the site, are marked brown. (Source: NSW Legislation Online, https://www.legislation.nsw.gov.au/view/pdf/map/50e1767a-9cc1-6c2a-9631-eec4c8c2c351, annotated by Heritage 21)</p> <p>The proposed development would include the construction of a single detached dwelling to the east of the existing presbytery building which would otherwise be prohibited within the current land zoning of the subject site – R3 Medium Density Residential. However, the proposal must be considered in its entirety on the basis of the conservation outcomes that would be facilitated at the St Leonard's Catholic Church and the existing presbytery as a result of the Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore</p>
---	---

	<p>Catholic Parish comprising St Leonard's Catholic Church and Metro Property for the proposed development.</p> <p>The consent authority can grant consent to the proposed development if it is satisfied that the requirements of subclauses (a) to (e) of clause 5.10(10) have been met.</p> <p>In our view the proposed development satisfies the requirements of subclauses (a) to (e) for the following reasons.</p>
<p><i>(a) the conservation of the heritage item or Aboriginal place of heritage significance is facilitated by the granting of consent, and</i></p>	<p>(a) The proposed development including the demolition of the St Leonard's Catholic School building and its associated extension would facilitate the construction of a new parish hall and presbytery, improving the amenity of St Leonard's Catholic Church. The proposal would also involve the refurbishment of the existing presbytery to convert it into a private residential dwelling and the construction of a new single detached dwelling to the east of the existing presbytery. The funds from this proposed development including the subdivision of the lots would facilitate conservation of the heritage significant building on site including – the St Leonard's Catholic Church and the presbytery.</p> <p>The conservation of the heritage listed item – St. Leonard's Catholic Church would be facilitated by the granting of consent.</p> <p>The proposed conservation works to the church would include:</p> <ul style="list-style-type: none"> • repointing of the brick masonry walls; • cleaning of the bricks impacted by the water seepage; • investigation of the roof and conservation and repair works to the church roof would address the ongoing damage caused by the water seepage; • rationalisation and repair of the existing copper rainwater goods; • reinstatement of timber windows with lead light glazing in the nuns' chapel; • conservation of the existing leadlight windows in the church and the reinstatement of the putty of the lead light glazing; • repair of the stairs located along the northern façade of the church leading to the nuns' chapel; • Introduction of a gap of 300-400mm between the concrete slab present along the basecourse of the walls of the church. Fill the gap with blue metal to address the rising damp problems noted in this building; • flashing of windows especially at windowsills to prevent moisture ingress into the masonry; and • landscape upgrade to enhance the heritage significance of the surrounding grounds of the church. <p>The proposal would also involve conservation works to the existing presbytery building which is although not individually heritage listed, nevertheless has</p>

	<p>heritage values that should be retained. These conservation works to the existing presbytery would include:</p> <ul style="list-style-type: none"> • removal of the intrusive balcony infill panels; • opening and reinstatement of the verandahs on the ground floor and balconies along the first floor with balustrades similar to the existing; • conservation of significant internal fabric including the ceilings, original walls, timber flooring and other elements like the original fireplaces; and • inspection of the roof and repair and conservation of the slate roof tiles. <p>By approving the application, the consent authority can be satisfied that the conservation of the heritage item will be facilitated by the granting of consent.</p> <p>The applicant seeks approval for the construction of a single detached dwelling to the east of the existing presbytery which otherwise would not be allowed in the current land zoning of R3 – Medium Density Residential. The proposed development including the new parish hall, presbytery, 12 town houses and the construction of the single detached dwelling to the east, would facilitate the provision of funds for the conservation of the heritage listed St Leonard's Catholic Church and the existing presbytery. The funds would be provided on the basis of the Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore Catholic Parish comprising St Leonard's Catholic Church and Metro Property. The proposed development would seek to finance the conservation works proposed above, to offset the extensive costs of carrying out these conservation works.</p>
<i>(b) the proposed development is in accordance with a heritage management document that has been approved by the consent authority, and</i>	(b) The proposed development is in accordance with this Statement of Heritage Impact. This Statement of Heritage Impact outlines the conservation actions proposed to be undertaken at the St Leonard's Catholic Church and the existing presbytery building.
<i>(c) the consent to the proposed development would require that all necessary conservation work identified in the heritage management document is carried out, and</i>	<p>(c) This Statement of Heritage Impact identifies the following conservation works that are to be carried out at the St. Leonard's Church:</p> <ul style="list-style-type: none"> • repointing of the brick masonry walls; • cleaning of the bricks impacted by the water seepage; • investigation of the roof and conservation and repair works to the church roof would address the ongoing damage caused by the water seepage; • rationalisation and repair of the existing copper rainwater goods; • reinstatement of timber windows with lead light glazing in the Nuns Chapel; • conservation of the existing leadlight windows in the church and the reinstatement of the putty of the lead light glazing;

	<ul style="list-style-type: none"> • repair of the stairs located along the northern façade of the church leading to the nuns' chapel; • Introduction of a gap of 300-400mm between the concrete slab present along the basecourse of the walls of the church. Fill the gap with blue metal to ensure moisture is not rising up the wall; • repair of the windowsills to ensure that the wall does not seep into the brick masonry; and • landscape upgradation to enhance the beauty of the surrounding grounds of the church. <p>The proposal would also involve conservation works to the existing presbytery building. These works would include:</p> <ul style="list-style-type: none"> • removal of the intrusive balcony infill panels; • opening and reinstatement of the verandahs on the ground floor and balconies along the first floor with balustrades similar to the existing; • conservation of significant internal fabric including the ceilings, original walls, timber flooring and other elements like the original fireplaces; and • inspection of the roof and repair and conservation of the slate roof tiles. <p>The proposed conservation works would not only improve the condition of the existing heritage buildings on the subject site, but it would also ensure that they are retained within the existing locality. These works are also identified in the relevant plans that form part of the DA application. A detailed Heritage Management Document can be prepared as a part of the development application outlining the conservation actions and maintenance schedule to be undertaken at the church and existing presbytery building to ensure that the heritage significance of the subjects it is retained. By approving the application, the consent authority can be satisfied that the conservation works identified in this Statement of Heritage Impact will be carried out.</p>
<p><i>(d) the proposed development would not adversely affect the heritage significance of the heritage item, including its setting, or the heritage significance of the Aboriginal place of heritage significance, and</i></p>	<p>(d) The proposed development would not adversely affect the heritage significance of the heritage item, including its setting. The St Leonard's School building is not heritage listed by itself and has undergone multiple alterations and additions which has impacted its original fabric. In addition, the building has not been used to its full potential since the closure of the school in 1996. The proposed demolition of the school and the garage next to the existing presbytery would facilitate the construction of the new parish hall, presbytery, 12 town houses and a single detached dwelling. The proposed form, scale, bulk and design of the proposal would, in Heritage 21's opinion, be respectful of the heritage significance of the St Leonard's Catholic Church. The proposed new development would be set below the roof ridge height of the church and the new dwelling would be lower than the existing presbytery ensuring that the presentation of the heritage significant buildings is retained within the Willoughby and Donnelly Road streetscape. The new development would follow the existing setback of the school building from Willoughby Road</p>

	<p>streetscape and would be set 7.4m away from the northern façade of the church. Breaking up of the façade through articulation, and simple and modest design would ensure that the proposed development is compatible with the heritage significance of the subject site and the heritage items in the vicinity.</p> <p>The proposed muted colour scheme and materials and finishes for the new development have been selected in conjunction with Heritage 21, to ensure that the proposed detailing would not detract from the significance of the St. Leonard's Church. Additionally, the highly contemporary form and materials of the new works would ensure that they are clearly identifiable as new, allowing the heritage item to stand out.</p> <p>The combined conservation strategies set out above would facilitate important conservation works to the church and the presbytery. The church committee relies upon the funds facilitated by the Development Rights Agreement to carry out the proposed conservation works (refer to (c) above). It would improve the presentation of the iconic church from the public realm. The brick work would be repointed, and the roof would be repaired, this would facilitate necessary upgrade to the church and the presbytery as well as enhancing the presentation of the building to the public realm – especially the repointing of the brickwork.</p>
<i>(e) the proposed development would not have any significant adverse effect on the amenity of the surrounding area.</i>	<p>(e) The proposed development would not have any significant adverse effect on the amenity of the surrounding area.</p> <p>The applicant has prepared an assessment of the proposed development addressing the amenity of the surrounding area, including the impacts associated with overshadowing and traffic and parking assessment. On that basis, the consent authority can be satisfied that the development would not have any significant adverse effect on the amenity of the surrounding area.</p> <p>Please refer to the Statement of Environmental Effects for a full assessment of the proposed development and its impact on the amenity of the surrounding area.</p>

6.2.4 Impact Assessment Against the WDCP 2006

PART H- Heritage Items and Conservation Areas	
H.2 General Conservation Controls	
H.2.1 Planning and Design Principles	
Objectives	Assessment
<p>A. Setting</p> <p>1. To provide an appropriate visual setting for heritage items and buildings within heritage conservation areas, including landscaping, fencing and carparking;</p>	<p>1. The proposed new development would retain the setting of the existing St. Leonard's Church and the presbytery located along Donnelly Road. The church is currently accessed via concrete steps from Willoughby Road which would be retained in the proposed development. The existing landscaping and the fencing located along the church building and the presbytery would not be altered ensuring that the visual presentation as well as prominence of the</p>

<p>2. <i>To maintain and enhance the existing heritage significance of the streetscape and the vicinity; and</i></p> <p>3. <i>To ensure that new development respects the established patterns in the streetscape, including setbacks, siting, landscaped settings, carparking and fencing.</i></p>	<p>heritage item is retained within the locality. Additionally, the proposed new development including the construction of the new parish hall, presbytery and the townhouses would be set 7.4m away from the north porch of the church ensuring there is sufficient curtilage maintained between the new development and the heritage listed church.</p> <p>2. The proposed new development would follow the existing building line of the present school building which is in line with the church. The proposed car parking for the town houses would be accommodated with the proposed basement of the development. The fencing of the proposed development includes a combination of face brick and metal fencing ensuring that is compatible with the existing brick facades of the church. As such, the proposed development would not negatively impact the setting of St Leonard's Catholic Church and would retain its significance.</p>
<p>B. Scale</p> <p>1. <i>To ensure that the scale of new development is in harmony with the streetscape and does not dominate or compete with existing heritage items, nor reduce their contribution and importance to their context, nor destroy an existing pattern of development.</i></p>	<p>1. The height of the proposed new development including the parish hall, presbytery and the 12 town houses would be set below the roof ridge of the existing church and its spire. The height of the proposed development would also be lower compared to the existing St Leonard's School Building that is proposed to be demolished. As such the prominence and visual presentation of the St Leonard's Catholic Church would be retained and enhanced within the existing locality. The proposed height of the development would be in line with the low to medium density development observed in the area. Additionally, the height of the proposed new two storey dwelling to the east of the existing presbytery would be set below the roof ridge height of the presbytery and would not negatively impact the presentation of the church and the presbytery within the Donnelly Road streetscape.</p>
<p>C. Massing and Form</p> <p>1. <i>To ensure that new development acknowledges dominant massing and form of the Heritage Item or Heritage Conservation Area, and is in harmony with existing significant fabric and form, and with the surrounding streetscape; and</i></p> <p>2. <i>To ensure that the form of new development is compatible with or complements the heritage significance of its context.</i></p>	<p>1. The new development comprising the new parish hall, presbytery and 12 town houses would be a contemporary design which would be compatible with the existing heritage listed St Leonard's Catholic Church. The proposed massing and simplistic form of the development would ensure that the streetscape character is retained. The contemporary form of the new development would ensure that it is clearly identifiable as a new addition and would not detract from the heritage significance of the heritage item - St Leonard's Catholic Church.</p> <p>2. The proposed modest form and simple design of the proposed development would ensure that the prominence of the St Leonard's Catholic Church is retained and that it is</p>

	<p>complementary with the heritage listed items in the vicinity. The massing of the proposed development would be further broken up by the articulation of the facades and the introduction of glazing. By articulating the façade of the townhouses into separate bays would ensure the development wouldn't be read as a single mass and would respond to the rhythm of the residential streetscape. As such the proposal would ensure that the heritage significance of the subject site and the heritage items in the vicinity is retained.</p>
<p>D. Proportion</p> <ol style="list-style-type: none"> 1. <i>To ensure that new development respects the proportions of elements of existing heritage fabric; and</i> 2. <i>To ensure that new development has regard to the architectural character and style of the Heritage Item or Heritage Conservation Area setting.</i> 	<ol style="list-style-type: none"> 1. The proposed new development to the north of the church would be substantially set back from the heritage item. By breaking up of the facades with articulation, the building would reduce the perceived bulk of the new works and ensure they would not dominate or compete with the heritage item in the vicinity. Further, the new development would not be higher than surrounding developments in the immediate vicinity of the site. As such, it would blend into the background and would not visually dominate or compete with the heritage item and would be in proportion with it. 2. The new works – including the new parish hall, presbytery and the 12 town houses - are completely identifiable as new in accordance with Article 22.2 of the Burra Charter. The proposed design, form, scale, bulk and materiality of the new works would respect the heritage significance of the site and have minimal impact on the heritage significance of the original church and the presbytery building. The contemporary materials and muted colour palette of the new works would allow the works to blend into the existing surrounding context within the Willoughby and Donnelly Road streetscapes, while allowing the original church to stand out.
<p>E. Details</p> <ol style="list-style-type: none"> 1. <i>To ensure that new development has a level of detail which is appropriate to its context; and</i> 2. <i>To ensure that new development has regard to the architectural character and style of the Heritage Item or Heritage Conservation Area setting but does not incorporate elaborate new detailing in a period style that would</i> 	<ol style="list-style-type: none"> 1. The proposal does not include the removal of or alterations to the materials, finishes and colours of the original church building ensuring its details are retained. 2. The materials and finishes of the new works including its details would be clearly new and contemporary, distinguishing between the new and the original. This would ensure that the heritage significance of the heritage item is enhanced and retained. The colour scheme chosen would be muted, ensuring that the new works would not visually dominate the heritage item.

<i>prevent interpretation of what is original and what is new.</i>	
H.2.1 Design Elements	
Objectives	Assessment
A. Roofs 1. <i>To retain the characteristic scale and massing of roof forms within the Heritage Conservation Area, and retain the characteristic scale and massing of significant roof forms of Heritage Items.</i>	1. The proposal would not alter the roof form of the heritage significant buildings including the church and the presbytery. The proposed development is not located within a heritage conservation area. However, the proposal including the construction of a new parish hall, presbytery, and town houses as well as the new single dwelling would feature flat roofs which would be clearly distinct from the St. Leonard's Church and the presbytery building's gabled and sloping roof forms. The proposed flat roof would be similar to some of the contemporary development observed in the locality. The modest massing and scale of the development featuring flat roof ensures that the heritage item is highlighted and maintains its significance.
B. Façades 1. <i>To retain the existing façade, fabric, scale and massing and character of original development, in terms of the proportions of façades;</i> 2. <i>To ensure that new development does not disturb or reduce the importance of original verandahs; and</i> 3. <i>To ensure new verandahs do not conflict with the heritage significance or significance of the place or building.</i>	1. The proposal would not alter the existing facades of the St. Leonard's Church ensuring that the existing significant fabric is retained. The prominent scale and massing of the church and its spire would be retained within the locality. As such, the proposal would not impact the heritage significance of St. Leonard's Church. 2. The proposal would involve the removal of the intrusive enclosure of the balconies of the presbytery building including the lightweight infill panels and glazing. The removal of these intrusive elements would aid in reinstating the original presentation of the presbytery within the Donnelly Road streetscape. The proposal aims to highlight the verandah and balconies of the presbytery building. 3. The proposal does not include the introduction of new verandahs in the existing heritage buildings.
C. Doors and Windows 1. <i>To ensure that original elements are retained and where new elements occur that the character and patterns of door and window openings and their construction is clearly related to the proportions, placement and scale of fenestration patterns of the existing heritage fabric.</i>	1. The proposal does not involve any works to the doors and windows of the St. Leonard's Church building. The proposal would retain the existing timber doors and windows including the lead light glazing of the church. The alterations and additions to the interiors of the presbytery would involve the removal of some of timber panelled within the interiors. However, it would retain the timber doors and windows located along the external facades ensuring that its presentation from the public domain is retained. The presbytery is not heritage listed. Therefore, the removal of some of the internal timber doors

	in the presbytery would not negatively impact the heritage significance of the heritage item.
<p>D. Materials and Colours</p> <p>1. <i>To ensure that the selection of materials and colours is based on an understanding of the original finishes. Finishes employed in new development should be selected with regard to the significance and character of the Heritage Item or of development in the street or Heritage Conservation Area, and the likely impact of that proposed work.</i></p>	<p>1. The design of the facades of the new development including the new parish hall, presbytery and town houses has been developed in a simplistic style involving contemporary design details and materials which would be compatible with the existing heritage context. The muted colour scheme and simplistic design would ensure that the significance of the St. Leonard's Church and the heritage items in the vicinity is retained within the Willoughby Road streetscape.</p> <p>The clearly contemporary new structure would create clear contrasts between the original and the new works in Accordance with Article 22.2 of the Burra Charter. The material palette selected would be highly contemporary. The selected colour scheme would ensure that the new works would not visually dominate the original heritage item but would blend into the existing surrounding context.</p>
<p>E. Carparking</p> <p>1. <i>To allow for reasonable on site carparking while retaining the character and significance of the Heritage Conservation Area or Heritage Item;</i></p> <p>2. <i>To ensure that car parking facilities do not have any adverse visual impact upon heritage streetscapes; and</i></p> <p>3. <i>To ensure that garages, carports and driveways are visually discreet.</i></p>	<p>1. The proposal would involve the construction of a basement to accommodate the car parking for the proposed parish hall, presbytery and town houses.</p> <p>2. The introduction of this basement carpark would ensure that it does not negatively impact the visual presentation of the St. Leonard's Church within the Willoughby Road streetscape. The carpark would be accessible via an entrance along Merrenburn Avenue ensuring that it does not disrupt the Willoughby and Donnelly Road streetscapes.</p> <p>3. The proposal would involve the introduction driveways along Merrenburn Avenue for the new town house development and along Donnelly Road to serve the presbytery and the new single detached dwelling. The introduction of driveways along these roads would ensure that the primary presentation of the subject site along Willoughby Road is retained. The introduction of a car port in front of the presbytery would be of a simplistic design ensuring that views to and from the subject building are retained.</p>
<p>F. Fences</p> <p>1. <i>To provide fencing that reinstates the original form of fencing, that is consistent with and does not detract from the established patterns of the street.</i></p>	<p>1. The proposed development would retain the existing low lying brick fence of the church observed along Willoughby Road and Donnelly Road ensuring that the existing presentation of the subject site including the St Leonard's Catholic Church is retained within the streetscapes.</p> <p>The proposed new fencing to the new development to the north of the church and along Merrenburn Avenue would</p>

	employ a combination of material including brick and metal balustrades. The use of brick masonry in the fencing would ensure that it would be compatible with the existing brick fence of the heritage item ensuring that it would not detract or negatively impact its heritage significance. As such, the proposed fencing would follow the existing pattern evidenced within the street.
G. Garden elements, including Paving and Driveways 1. <i>Retain or reinstate landscaped settings for Heritage Items and components of Heritage Conservation Areas.</i>	1. The proposed development would retain the existing landscaping and open paved area observed in front of the church along Willoughby Road. Currently, the St. Leonard's Church are accessed via concrete stairs from Willoughby Road which would be retained within the proposed development. The proposal would not involve introduction of any new driveways for the church. The proposed development includes the introduction of a driveway serving the town houses that would be accessible from Merrenburn Avenue. This would be in line with the driveway which is present today on site which is used to access the car parking present to the north of the site. The proposal also involves the introduction of two new private driveways serving the existing presbytery and the new single dwelling. These driveways would be accessible from Donnelly Road which has multiple driveways serving the dwellings located along Donnelly Road. As such, the proposed development would use the secondary roads – Merrenburn Avenue and Donnelly Road for the driveway access ensuing that the primary presentation of the site along Willoughby Road is retained.
H.2.4 Demolition	
Objectives	Assessment
1. <i>To conserve both individually listed Heritage Items and the general building stock which contributes to the significance of the Heritage Conservation Area and to ensure that replacement development enhances the significance of the Heritage Conservation Area.</i>	1. The proposed development does not involve demolition of any elements of the heritage listed St Leonard's Catholic Church. The proposal would involve the alterations and additions to the interiors of the presbytery building. Heritage 21 has recommended that spandrels be retained for the original wall proposed to be demolished to ensure that the original layout of the building is legible. As such the proposal would not impact the presentation of the heritage buildings within the public domain. Additionally, the demolition would include the removal of light weight infill panels ensuring that the intrusive enclosure of the balconies is removed. This would reinstate the presentation of the presbytery within Donnelly Road streetscape.
H.2.5 Subdivision	

Objectives	Assessment
<ol style="list-style-type: none"> <i>To retain the development and subdivision pattern of heritage conservation areas including their characteristic rhythm and spacing of built form;</i> <i>To retain significant curtilages, views and vistas and landscape elements associated with individual Heritage Items; and</i> 	<ol style="list-style-type: none"> The proposed subdivision would involve one lot consisting of the church and the new town house development, the existing presbytery and the new detached dwelling. The proposed subdivision would retain the existing open landscape setting of the church and would retain its presentation of the heritage item within the locality. Additionally, the new town house development would be set 7.4m away from the northern façade of the church ensuring that sufficient curtilage is maintained around the heritage item. The presbytery is an existing building and would not impact the curtilage of the church. The subdivision has been proposed to facilitate the conservations works of the heritage item. The proposed development including the subdivision would help in providing funds under the Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore Catholic Parish comprising St Leonard's Catholic Church and Metro Property ensuring positive conservation outcomes for the heritage significant buildings including the church and the existing presbytery.
H.2.6 Infill Development	
Objectives	Assessment
<ol style="list-style-type: none"> <i>To ensure that infill development achieves a sympathetic relationship with either nearby Heritage Items or the Heritage Conservation Area of which it is a part in terms of its scale, massing, character, setback, orientation, materials and detailing.</i> 	<ol style="list-style-type: none"> The proposed new development would be sympathetic to the heritage item in that the proposed scale, and setback would respect the heritage significance of the church, while the highly contemporary form and material palette of the new development would clearly distinguish between the original and the new, allowing the heritage item to stand out. The colour scheme chosen would be muted, ensuring that the new works would not visually dominate the heritage item.

6.2.5 Impact Assessment Against the NSW Office of Environment & Heritage guidelines

As acknowledged in Section 6.1.4, the NSW Office of Environment & Heritage has identified a list of considerations in the form of questions aiming at directing and triggering heritage impact assessment. Below, we assess the proposal against the most pertinent of these questions.

Question	Assessment
Demolition of a building or structure	
<ul style="list-style-type: none"> <i>Have all options for retention and adaptive re-use been explored?</i> 	The proposed development would retain the heritage listed St. Leonard's Church and the existing presbytery building along Donnelly Road. The proposal would involve alterations and

	<p>additions to the existing presbytery building which was built in 1918. The proposed alterations and additions to the presbytery would ensure that the building is retained within the streetscape. The conservation of the fabric of the presbytery and internal changes to the layout would increase its amenity and would aid in adapting it for residential use.</p> <p>The proposal involves the demolition of the two storey St. Leonard's school building including its associated extension. The school building is not heritage listed and has undergone multiple alterations and additions affecting its fabric. The building has not been in use to its full potential since the school shut down in 1996. The building itself is not significant and does not feature any fabric of high heritage significance. As such, the proposed demolition of the school building would not negatively impact the heritage significance of the heritage item – St Leonard's Catholic Church. The proposed demolition of the school building would aid in accommodating the new parish hall and presbytery building which would increase the amenity of St. Leonard's Church. The new development including the town houses would facilitate in providing funds as a part of the Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore Catholic Parish comprising St Leonard's Catholic Church and Metro Property Development which would bring about the conservation works of significant fabric of the church and the presbytery building.</p>
<ul style="list-style-type: none"> <i>Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?</i> 	<p>The proposal would retain the heritage significant church and presbytery on the subject site and would retain as well as conserve the significant fabric of both the buildings. The proposed new development would be constructed in place of the demolished school building and would be set 7.4m away from the church. As such, the proposal would retain the significance of the church and presbytery within the Willoughby and Donnelly Road streetscapes ensuring that it does not have a negative heritage impact on the subject site.</p>
<ul style="list-style-type: none"> <i>Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?</i> 	<p>The demolition of the school building is essential for the construction of the proposed new development including the new parish hall, presbytery and 12 town houses. The construction of this new development would aid in providing the funds as a part of the Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore Catholic Parish comprising St Leonard's Catholic Church and Metro Property which would ensure the conservation of the heritage significant buildings including the church and the existing presbytery.</p>

<ul style="list-style-type: none"> <i>Has the advice of a heritage consultant been sought? Have the consultant's recommendations been implemented? If not, why not?</i> 	<p>Heritage 21 has been a part of the design development process and the following Statement of Heritage Impact has been prepared to assess the impact of the proposed development on the heritage significance of the subject site. Heritage 21 has recommended the removal of the link connecting the new development to the north with the church. The setback of the new development has been increased to ensure that sufficient curtilage is maintained ensuring that the proposal does not impact the significance of the heritage item. The contemporary form and design of the new development would ensure that it is clearly identifiable as new and does not copy the original in any form.</p>
Minor partial demolition (including internal elements)	
<ul style="list-style-type: none"> <i>Is the demolition essential for the heritage item to function?</i> 	<p>The proposal includes the demolition of the St Leonard's School building which was constructed in 1932 and is not heritage listed. The demolition would not include any changes to the heritage listed St Leonard's Catholic Church building. The demolition of the school would help in accommodating the proposed new development including the new parish hall, presbytery and 12 town houses. The new development would be under the Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore Catholic Parish comprising St Leonard's Catholic Church and Metro Property which would facilitate the provision of funds for the conservation works of the heritage listed St Leonards Church and the presbytery building. As such the proposal is essential to ensure the positive conservation strategies and actions are implemented at the subject site which would lead to the improvement of the presentation of the St Leonards Church within the public realm.</p>
<ul style="list-style-type: none"> <i>Are important features of the item affected by the demolition (e.g. fireplaces in buildings)?</i> 	<p>The proposed development would not impact any important features of the church. The proposal would also involve minor alterations and additions within the interiors of the existing presbytery. The presbytery is not heritage listed however, Heritage 21 believes it significant and must be retained. The minor demolition of internal walls would not impact the external presentation of the building. Some of these walls appear to be later addition walls. Heritage 21 has recommended the retention of spandrels so that the original layout of the building remains legible. The proposal would retain the significant internal features of the building including the original fireplaces and staircase. As such, the proposal would not have a negative heritage impact on the significance of the subject building.</p>

<ul style="list-style-type: none"> <i>Is the resolution to partially demolish sympathetic to the heritage significance of the item?</i> 	<p>The proposal does not involve any demolition of the church building. The demolition is limited to the school building which is not heritage listed but is located on the subject site. The school building has undergone alterations and additions which has impacted its original fabric.</p> <p>The proposal would also involve alterations and additions to the existing presbytery building which would be limited to its interiors. The proposal would involve the partial demolition of some internal walls in the presbytery building. Heritage 21 has recommended that spandrels be retained for the original walls that are proposed to be demolished to ensure that the original layout of the building is still legible.</p>
<ul style="list-style-type: none"> <i>If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?</i> 	<p>The proposed partial demolition within the interiors of the presbytery is not a result of the condition of the fabric. The proposed alterations within the interiors of the presbytery would aid in improving the amenity of the presbytery ensuring that it is adapted as a private residential dwelling.</p>
New development adjacent to a heritage item (including additional buildings and dual occupancies)	
<ul style="list-style-type: none"> <i>How is the impact of the new development on the heritage significance of the item or area to be minimised?</i> 	<p>The proposal involves the demolition of the St Leonards school building which is not heritage listed and has undergone alterations and additions which has affected its significant fabric. The proposed new development including the new parish hall, presbytery, 12 town houses and the new detached dwelling to the east of the existing presbytery would be set below the existing roof ridge height of the church ensuring that the presentation of the church within the Willoughby and Donnelly Road streetscapes is retained. Additionally, the new development to the north of the church would follow the existing setback of the school building and would be set 7.4m away from the northern façade of the church ensuring sufficient curtilage is retained around the church.</p> <p>The form, scale and massing of the new development would follow the surrounding locality and would be complementary to the existing heritage buildings. The simple design of the new development and the use of muted colour scheme would ensure that it does not negatively impact the heritage significance of the heritage item – St Leonard's Catholic Church. In addition, the highly contemporary form and design would be compatible with the existing surrounding context, allowing the new works to blend into the surrounding environment. Further, the proposed new building would be setback from the northern wall of the heritage item. This would ensure that the new works would be clearly identified as a contemporary addition and would not visually dominate the original church.</p>

<ul style="list-style-type: none"> Why is the new development required to be adjacent to a heritage item? 	<p>The proposal involves the demolition of the two storey St. Leonard's school building including its associated extension. The school building is not heritage listed. The building itself is not significant and does not feature any fabric of high heritage significance. As such, the proposed demolition of the school building would not negatively impact the heritage significance of the subject site.</p> <p>The proposed demolition of the school building would aid in accommodating the new parish hall and presbytery building which would increase the amenity of St. Leonard's Church. The new development including the town houses and the subdivision of the lots would facilitate in providing funds as a part of the Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore Catholic Parish comprising St Leonard's Catholic Church and Metro Property Development which would bring about the conservation works of significant fabric of the church and the presbytery building. For ensuring that positive conservation outcomes are achieved at the subject site it is pertinent that the new town house development is located to the north of the church.</p>
<ul style="list-style-type: none"> How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance? 	<p>The curtilage along the front (western) boundary along Willoughby Road including the landscape setting and the concrete steps would be retained around the heritage item which would contribute to the retention of its heritage significance. In addition, an appropriate and adequate setback has been provided between the heritage item and the new structure to the north. This area, and the entirety of the site would incorporate additional landscaping which would enhance the garden setting of the heritage item.</p>
<ul style="list-style-type: none"> How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects? 	<p>The new development has been carefully sited along the northern part of the allotment in place of the existing school building proposed to be demolished, to the side of and away from the heritage item. As such, it would not impact views to and from the heritage item to the heritage item in the vicinity. To minimise any negative effects that the new structure may have, the design incorporates highly contemporary materials, sympathetic to the existing surrounding environment.</p>
<ul style="list-style-type: none"> Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected? 	<p>An archaeological assessment is beyond the scope of this report.</p>
<ul style="list-style-type: none"> Is the new development sympathetic to the heritage item? In what way 	<p>Yes, the proposed new development would be sympathetic to the heritage item in that the proposed scale, and setback would respect the heritage significance of the church, while</p>

<i>(e.g. form, siting, proportions, design)?</i>	the highly contemporary form and material palette of the new development would clearly distinguish between the original and the new, allowing the heritage item to stand out. The colour scheme chosen would be muted, ensuring that the new works would not visually dominate the heritage item.
<ul style="list-style-type: none"> <i>Will the additions visually dominate the heritage item? How has this been minimised?</i> 	<p>The proposal would not involve any alterations and additions to the heritage listed St Leonards Church. The proposal would involve the construction of the new parish hall, presbytery and 12 town houses in place of the existing school building which is proposed to be demolished. The proposed new development would be set below the roof ridge height of the church ensuring that it is not visually dominant on the existing heritage building.</p> <p>The proposal would also involve alterations and additions within the interiors of the existing presbytery building. This would not impact the visual presentation of the subject building within the streetscape. The proposed new single detached dwelling east of the existing presbytery would also be lower in height than the presbytery ensuring that it does not negatively impact the heritage significant buildings. As such the proposal would not visually dominate the St Leonards Church.</p>
<ul style="list-style-type: none"> <i>Will the public, and users of the item, still be able to view and appreciate its significance?</i> 	<p>The proposed development including the new parish hall, presbytery and 12 town houses to the north of the St Leonard's Catholic Church would be set below the roof ridge of the church building. The development would be similar to the existing scale of the surrounding locality which would ensure that the prominence and setting of the Church and its spire is retained within the Naremburn locality and along Willoughby Road streetscape. As such views to and from the subject site would be retained ensuring that public are able to view and appreciate the grand scale of the St. Leonard's Church.</p> <p>Additionally, the proposed new single dwelling to the east of the existing presbytery would also be set below the roof ridge height of the presbytery ensuring that the proposed infill development does not negatively impact the presentation of the church and the presbytery buildings within Donnelly Road streetscape and people are able to easily view and appreciate the buildings within the surrounding locality.</p>
Subdivision	
<ul style="list-style-type: none"> <i>How is the proposed curtilage allowed around the heritage item appropriate?</i> 	The proposed subdivision would involve one lot consisting of the church and the new town house development, the existing presbytery and the new detached dwelling. The proposed subdivision would retain the existing open landscape setting of the church and would retain its presentation of the heritage item within the locality. Additionally, the new town house

	development would be set 7.4m away from the northern façade of the church ensuring that sufficient curtilage is maintained around the heritage item. The presbytery is an existing building and would not impact the curtilage of the church.
<ul style="list-style-type: none"> Could future development that results from this subdivision compromise the significance of the heritage item? How has this been minimised? 	The proposed subdivision of land into three lots would not involve the construction of any new development in the curtilage of the church. The subdivision has been proposed to facilitate the conservations works of the heritage item. The proposed development including the subdivision would help in providing funds under the Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore Catholic Parish comprising St Leonard's Catholic Church and Metro Property ensuring positive conservation outcomes for the heritage significant buildings including the church and the existing presbytery. As such, the proposed development would aid in retaining the heritage buildings within the public domain and would not negatively affect its significance.
<ul style="list-style-type: none"> Could future development that results from this subdivision affect views to, and from, the heritage item? How are negative impacts to be minimised? 	The proposed development of the town houses and the parish hall would be set 7.4m away from the church ensuring that there is sufficient separation between the new development and the heritage item. The subdivision as such would not alter the presentation of the heritage item within the Willoughby and Donnelly Road streetscapes.
New landscape works and features (including carparks and fences)	
<ul style="list-style-type: none"> How has the impact of the new work on the heritage significance of the existing landscape been minimised? 	<p>The proposal involves the construction of a basement within the new development to accommodate the car parking of new presbytery and town houses. The location of the car parking below the ground would ensure that the existing presentation of the heritage listed St Leonard's Catholic Church would be retained within the Willoughby Road streetscape. The proposal would also involve the introduction of two new driveways and a carport in front of the existing presbytery. The simple and modest design of the carport would not negatively impact the views to and from by the existing presbytery building. The introduction of new driveways accessible from Donnelly Road would be in line with the existing character of the locality which features multiple driveways and carports of residential dwellings.</p> <p>The proposal would retain the improve existing landscape setting of the church and would retain the low-lying fence and would improve the connection to the site along Willoughby Road. The fence of the new development would employ materials like bricks and metal balustrades which would be compatible with the heritage buildings. As such, the proposed</p>

	landscape at the subject site would not negatively impact the heritage significance of the heritage listed – St Leonard's Catholic Church.
<ul style="list-style-type: none"> Has evidence (archival and physical) of previous landscape work been investigated? Are previous works being reinstated? 	The historical research has not uncovered any significant evidence of the landscaping around the heritage item. The proposal would retain the existing landscape setting in front of the church and would not alter its setting. The low lying brick fence of the church along Willoughby and Donnelly Road streetscape would be retained including the concrete steps accessible from Willoughby Road.
<ul style="list-style-type: none"> Has the advice of a consultant skilled in the conservation of heritage landscapes been sought? If so, have their recommendations been implemented? 	The proposal would involve the upgradation of the existing landscape setting of the church campus. The landscape upgrades have been developed in consultation with the landscape architects – Arcadia. They have done extensive analysis of the existing landscape setting and developed the strategies of the landscape design ensuring that it would improve the interaction of the public with the subject site.
<ul style="list-style-type: none"> Are any known or potential archaeological deposits affected by the landscape works? If so, what alternatives have been considered? 	An archaeological assessment is beyond the scope of this report.
<ul style="list-style-type: none"> How does the work impact on views to, and from, adjacent heritage items? 	The proposed works would largely retain the existing setting of the church and as such would not alter its presentation within the public domain. The new development would be set 7.4m away from the church ensuring that the views to and from the church are retained.

7.0 CONCLUSION & RECOMMENDATIONS

7.1 Impact Summary

The NSW Office of Environment & Heritage's guidelines require the following aspects of the proposal to be summarised.¹⁸

7.1.1 Aspects of the proposal which respect or enhance heritage significance

In our view, the following aspects of the proposal would respect the heritage significance of the St Leonard's Catholic Church located on the subject site and heritage items in the vicinity:

- The proposal would ensure the retention of the heritage listed St Leonard's Catholic Church, as well as the presbytery building which is not individually listed under the WLEP 2012 but is significant and has heritage values;
- The proposal would improve the existing condition of the heritage listed building;
- The proposal would not alter the historic setback from Willoughby Road and Donnelly Road streetscapes;
- The proposal would ensure the continued historic use of the site with the retention of the Church;
- The proposal would include the retention of the Presbytery building, which would respect the significance of the subject site;
- The proposal would ensure continued community engagement with the St Leonard's Catholic Church congregation including the construction of a new Parish Hall;
- The proposal would facilitate conservation works to the church and the presbytery building as a part of the Development Rights Agreement between the Trustees of the Roman Catholic Church for the Diocese of Broken Bay on behalf of the Lower North Shore Catholic Parish comprising St Leonard's Catholic Church and Metro Property; and
- The proposed new development has been appropriately designed to ensure that it would not generate a negative heritage impact upon the existing church but would serve as a respectful, contemporary infill development, clearly differentiating between the original and the new. This includes the conservation of the original church and the presbytery, the incorporation of appropriate setbacks, scale, sympathetic materials and finishes.

7.1.2 Aspects of the proposal which could have detrimental impact on heritage significance

In our view, there are no aspects of the proposal which could be detrimental to the significance of the subject site consisting the heritage listed St Leonard's Catholic Church and heritage items in the

¹⁸ NSW Office of Environment and Heritage, 'Statements of Heritage Impact' (Heritage Office and Department of Urban Affairs & Planning, 1996), <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/hmstatementsofhi.pdf>.

vicinity. The neutral impacts of the proposal have been addressed above in Section 7.1.1. Recommendations are provided in Section 7.2 below as further mitigation measures.

7.1.3 Sympathetic alternative solutions which have been considered and discounted

Heritage 21 provided heritage advice to the applicant which has been incorporated in the final proposal as described in Section 5.0 and which includes:

- The initial design of the proposed townhouses and Parish Hall would have been situated too close to St Leonard's Catholic Church, a greater setback was incorporated in order to minimise the visual impact;
- The proposed design of the townhouses and Parish Hall should include consideration of the existing form and scale of the Church, alterations should be made to the design in order to further minimise the visual impact of the new structures on the existing Church;
- The proposed Parish Hall should not include a link to the existing Church, the retention of the north porch as a standalone structure is paramount; and
- The materiality of the thru site link proposed between the Church and Presbytery should include clear consideration of the setting and soft landscaping.

No solutions of greater sympathy with the significance of the subject site, heritage conservation area or heritage items in the vicinity have been discounted to our knowledge.

Mitigation measures are provided for consideration in Section 7.2 of this report which are based on our initial recommendations.

7.2 Recommendations

To ensure maximum conservation of the significance of the subject site and heritage items in the vicinity, Heritage 21 also recommends the following:

7.2.1 Spandrels and introduction of CFC sheeting

Heritage 21 recommends the retention of spandrels within the interiors of the presbytery building to ensure that the original room layout of the building remains legible.

It is also recommended that CFC sheeting be introduced within the new bathroom areas to ensure that it does not impact any significant fabric. The CFC sheeting should be introduced to the walls, ceiling, and floor of the new bathroom over which the new tiling finish should be installed. This would ensure that the proposed changes are reversible at a later stage ensuring that it by it reinstated back to its original form.

The introduction of new services within the interiors of the presbytery building should all be surface mounted and should not involve any chasing within the significant fabric of the presbytery.

7.2.2 Photographic Archival Recording

A Photographic Archival Recording (PAR) should be prepared by a suitably qualified Heritage Consultant prior to any development being carried out on the site.

The report must consist of an archival standard photographic record of the site and buildings externally including the existing character of the streetscape and the views to and from the subject site and heritage items in the vicinity, exteriors and interiors, and general views to and from the site.

The recording shall be undertaken in accordance with the guidelines for Photographic Recording of Heritage Items Using Film or Digital Capture (2006) prepared by the NSW Office of Environment & Heritage and copies should be retained in Council's Archives and Local Studies collection.

7.2.3 Temporary Protection Measures

Prior to the commencement of any work, consideration shall be given to the development of temporary protection measures that would identify potential risks and outline methodologies to negate any physical impact on significant fabric located in the vicinity of the area of works on the subject site. This is to be prepared by a suitably qualified contractor and implemented prior to the works to be monitored by the architect and followed by all tradespeople involved.

7.2.4 Interpretation Strategy

An Interpretation Strategy should be prepared by a heritage professional. This would identify key users of the site, develop themes and key messages for the identified audience, and propose options for communication of heritage values to visitors and users of the site. This may be in the form of graphic display, art installations, design features or other interpretive media.

7.2.5 Interpretation Plan

An Interpretation Plan should be prepared to develop content, installation strategy and/or a maintenance plan for the proposed interpretive media. The focus of this exercise is not for passive historical instruction but for interactive engagement between a site and the community.

7.3 General Conclusion

The proposal seeks to make use of the conservation incentives clause 5.10(10) as outlined in the Willoughby LEP 2012 in order to construct a single detached dwelling to the east of the existing presbytery building which would otherwise be prohibited in the current land zoning of R3: Medium Density Residential. The proposed development would aid in improving the existing condition and facilitate conservation works of the significant fabric of the St Leonard's Catholic Church and the presbytery building. The assessment carried out in this report has found that the 5-part test of the conservation incentives clause has been satisfied, and it is the assessment of Heritage 21 that the net benefit achieved by the conservation of the St. Leonard's Church and existing presbytery – including removal of intrusive additions and the conservation and maintenance of significant fabric –

would outweigh any potentially negative heritage impact which may be generated as a result of the proposed demolition of the school building and the construction of the new development in its place including the new parish hall, presbytery and 12 town houses.

The construction of the new development would comprise of sympathetic design, scale, form and materiality. Heritage 21 has been actively involved in the design process to minimise the visual impact of the proposed development and to ensure that it would not detract the significance of St Leonard's Catholic Church and the existing presbytery building. Heritage 21 is therefore confident that the proposed development complies with pertinent heritage controls and would not engender a negative heritage impact on the heritage significance of the subject site and heritage items in the vicinity. We therefore recommend that Willoughby City Council view the application favourably on heritage grounds.

8.0 SOURCES

- Apperley, Richard, Robert Irving, and Peter Reynolds. *A Pictorial Guide to Identifying Australian Architecture Styles and Terms from 1788 to the Present*. Sydney: Angus & Robertson, 1994.
- Australia ICOMOS. 'The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance'. Australia ICOMOS, 2013. <http://australia.icomos.org/publications/charters/>.
- Willoughby City Council. 'Willoughby Development Control Plan', 2006.
https://eplanning.willoughby.nsw.gov.au/pages/plan/book.aspx?exhibit=wdcp_2016.
- . 'Willoughby Local Environmental Plan', 2012.
<https://legislation.nsw.gov.au/view/html/inforce/current/epi-2012-0679>.
- NSW Land and Property Information. 'SIX Maps', n.d. <http://maps.six.nsw.gov.au/>.
- NSW Office of Environment and Heritage. 'Assessing Heritage Significance'. NSW Heritage Office, 2001. NSW Heritage Manual.
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/listings/assessingheritagesignificance.pdf>.
- . 'State Heritage Inventory'. *Search for NSW Heritage*, n.d.
<http://www.environment.nsw.gov.au/heritageapp/heritagesearch.aspx>.
- . 'Statements of Heritage Impact'. Heritage Office and Department of Urban Affairs & Planning, 1996. NSW Heritage Manual.
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/hmstatementsofhi.pdf>.
- Pollon, Frances, ed. *The Book of Sydney Suburbs*. Sydney: Cornstalk, 1996.
- 'Sydney Subdivision Plans'. State Library of NSW, n.d. Mitchell Map Collection.
<http://www.sl.nsw.gov.au/>.